

MUP - DRAWING SET

106 NW 36th Street, Seattle, WA



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MUP DRAWING INDEX

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PROJECT DATA

SITE ADDRESS : 106 NW 36th Street, Seattle, WA 98107

LEGAL OWNER : Infinity Investment Group, LLC

SITE AREA : 14,798 SF

PROJECT SCOPE : Existing structure to be demolished. Construct a 6 story, Mixed-use building with 65 residential units, with common amenities and 2 commercial spaces with outdoor seating. 22 parking spaces to be provided within the structure.

PARCEL NUMBER(APN) : 1972200120

LEGAL DESCRIPTION : Lots 8,9, 10 and 11, Block 2, Denny & Hoyt's addition to the City of Seattle, According to the plat thereof recorded in volume 2 of plats, page 136, in King county, Washington:

Except that portion thereof condemned for Leary Avenue (Now Northwest 36th Street) in King county Superior Court Cause No. 69865 under ordinance no. 21303 of the City of Seattle.

Situate in the City of Seattle, County of King, State of Washington

ZONING DATA

ZONING CLASSIFICATION : NC2-55(M) (Neighborhood Commercial 55)

OVERLAY : Fremont (Hub Urban Village)

VICINITY MAP



APPLICABLE CODES

LAND USE: SEATTLE MUNICIPAL CODE - TITLE 23 (JULY 27, 2021)
BUILDING CODE: 2018 INTL. BUILDING CODE
ENERGY CODE: 2018 SEATTLE ENERGY CODE - RESIDENTIAL

PROPOSED USE: COMMERCIAL - MIXED-USE
CONSTRUCTION TYPE: TYPE I A AND VA
OCCUPANCY GROUP: R2 (UNITS), A-2/M (COMMERCIAL), S2 (PARKING GARAGE)
BUILDING HEIGHT: 55'
SPRINKLERS: NFPA 13 SPRINKLER SYSTEM
OF STORIES: 6 STORIES

FIRE ALARM SYSTEM: 2018 SEATTLE FIRE CODE 9708
CLASS I STANDPIPE: 2018 SEATTLE FIRE CODE 905

PROJECT NAME

106 NW 36th St

PROJECT ADDRESS

106 NW 36th St.
Seattle, WA 98107

CLIENT

Infinity Investment Group

KEY PLAN

2	01/21/22	MUP REV #2
1	08/06/21	MUP REV #1

No.	Date	Revision Description
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REVISIONS

DRAWING STATUS

MUP REV #2

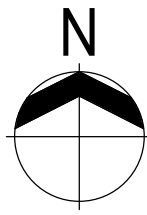
Discrepancies must be reported to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT LOGO



STAMP



DRAWING TITLE

COVER SHEET

DRAWN	Autor	CHECKED	Checker
SCALE	12" = 1'-0"	DATE	01/21/22

PROJECT NO. 19-049

DRAWING NO. REVISION NO.

-A001

<h1 style="text-align: center;">LEGEND OF SYMBOLS</h1>	
<p>DETAIL IDENTIFICATION</p> <p>SHEET IDENTIFIER</p>	<p>DETAIL IDENTIFICATION</p> <p>SHEET IDENTIFIER</p>
<p><u>DETAIL</u></p> <p>VIEW NUMBER</p> <p>SHEET LOCATION</p>	<p><u>DETAIL VIEW BUBBLE</u></p> <p>VIEW IDENTIFICATION</p> <p>SHEET LOCATION</p>
<p><u>BUILDING SECTION</u></p> <p>DETAIL IDENTIFICATION</p> <p>SHEET IDENTIFIER</p>	<p><u>DETAIL SECTION</u></p> <p>DETAIL IDENTIFICATION</p> <p>SHEET IDENTIFIER</p>
<p><u>WALL SECTION</u></p> <p>DETAIL IDENTIFICATION</p> <p>SHEET IDENTIFIER</p>	<p><u>INTERIOR ELEVATION</u></p> <p>DETAIL IDENTIFICATION</p> <p>SHEET IDENTIFIER</p>
<p>ROOM NAME</p> <p>ROOM NUMBER</p> <p>AREA</p>	<p><u>DOOR NUMBERS</u></p> <p>DOOR NUMBER</p>
<p><u>ROOM NAME & NUMBER</u></p> <p>WINDOW NUMBER</p>	<p><u>EQUIPMENT TAG</u></p> <p>EQUIPMENT TAG</p>
<p><u>KEY NOTES</u></p> <p>KEY NOTES</p>	<p><u>WALL TYPE</u></p> <p>WALL TYPE</p>
<p><u>DATUM ELEVATION</u></p> <p>DATUM ELEVATION</p>	<p><u>REVISION DELTA & CLOUD</u></p> <p>REVISION DELTA & CLOUD</p>
<p><u>DATUM INDICATOR</u></p> <p>DATUM INDICATOR</p>	<p><u>SPOT ELEVATION</u></p> <p>SPOT ELEVATION</p>
<p><u>OCCUPANCY TAG</u></p> <p>OCCUPANCY TAG</p>	<p><u>3D CAMERA VIEW</u></p> <p>3D CAMERA VIEW</p>
<p><u>EXIT ROUTE</u></p> <p>EXIT ROUTE</p>	<p><u>EXTENT OF WORK</u></p> <p>EXTENT OF WORK</p>
<p><u>VIEW TITLE</u></p> <p>VIEW TITLE</p>	<p><u>GRIDLINE BUBBLE</u></p> <p>GRIDLINE BUBBLE</p>
<p><u>PARTITION FIRE RATINGS</u></p> <p>PARTITION FIRE RATINGS</p>	<p><u>NORTH ARROW</u></p> <p>NORTH ARROW</p>
<h2 style="text-align: center;">GENERAL NOTES</h2>	
<p>1. DO NOT SCALE THE DRAWING</p> <p>2. VERIFY FIELD DOCUMENTS PRIOR TO COMMENCEMENT OF EACH PORTION OF THE WORK.</p> <p>3. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY, AND WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL. THE CONTRACTOR SHALL COORDINATE ALL PORTIONS OF THE WORK AS DESCRIBED IN THE CONTRACT DOCUMENTS. NOTIFY THE ARCHITECT FOR RESOLUTION OF ALL DISCREPANCIES PRIOR TO CONSTRUCTION.</p> <p>4. DIMENSIONS ARE TO THE STRUCTURAL GRID OR TO FINISH SURFACES, UNLESS OTHERWISE INDICATED.</p> <p>5. DOORS AND CASED OPENINGS INDICATED NEARBY WALL INTERSECTIONS SHALL BE LOCATED SO THAT THE EDGE OF THE FINISH OPENING IS SIX INCHES FROM THE FACE OF THE NEARBY WALL UNLESS OTHERWISE INDICATED. ALL OTHER DOORS AND CASED OPENINGS SHALL BE CENTERED BETWEEN ADJACENT WALL INTERSECTIONS.</p>	

PROJECT NAME					
106 NW 36th St					
PROJECT ADDRESS					
106 NW 36th St. Seattle, WA 98107					
CLIENT					
Infinity Investment Group					
KEY PLAN					
No.	Date	Revision Description			
REVISIONS					
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MUP REV #2					
<p>Discrepancies must be reported to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.</p> <p>ALL DIMENSIONS ARE SHOWN IN IMPERIAL.</p>					
CONSULTANT LOGO					
<div>M Z A ARCHITECTURE</div>					
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DRAWING TITLE					
GENERAL NOTES & SYMBOLS					
DRAWN		CHECKED			
Author		Checker			
SCALE		DATE			
1/2" = 1'-0"		01/21/22			
PROJECT NO.					
19-049					
DRAWING NO.				REVISION NO.	
-A002					



Preliminary Assessment Report Project 005341-19PA, 106 NW 36TH ST

Assessment Completed: 10/30/2019

Project Description: Construct 5 story multifamily apartment building with approximately 66 units and 30 parking stalls. Existing structures to be demolished.

Primary Applicant: [Andrew Kluss](#)

This report lists the results of a preliminary assessment of your project requirements by various city departments. It's based on the project characteristics described on your site plan and preliminary application form. If your project requires a pre-application site visit (PASV), the results of that site visit are also included. The goal of this report is to help you create a complete submittal package and reduce the need for corrections once your application has been submitted.

Next Steps

- Review the requirements in this report and contact the staff members listed below with questions.
- If a street improvement plan is required, develop and submit it to the Seattle Department of Transportation (SDOT). **The Seattle Department of Construction and Inspections (SDCI) will not accept your permit application until your street improvement plan is approved as 60% complete by SDOT. See SDOT Client Assistance Memo 2213 for guidance about the 60% complete approval process.**
- Schedule an appointment for permit application intake with SDCI. **Please bring a copy of this report to your intake appointment.**

Questions About This Report

If you have questions about the information in this report, contact the appropriate city staff member for each section.

SDCI Drainage Requirements

Arthur Thomas Richardson, (206) 684-3655, art.richardson@seattleu.gov

SDCI Land Use Requirements

Travis Saunders, (206) 396-1357, Travis.Saunders@seattleu.gov

SDCI Precipitation Site Visit Requirements

Kamran Yazdidoost, (206) 684-7914, kamran.yazdidoost@seattleu.gov

Seattle City Light Requirements

Thomas Gravel, Thomas.Gravel@seattleu.gov

Seattle Department of Transportation Requirements

Jackson Keenan-Koch, (206) 386-5479, Jackson.Keenan-Koch@seattleu.gov

Seattle Public Utilities Requirements

Jim Mahady, (206) 684-5950, jim.mahady@seattleu.gov

Water Availability

Seattle Public Utilities Drainage/Sewer Availability Requirements

Other Resources

- General questions about the permit process: Contact the SDCI Applicant Services Center (ASC) at 206-684-8850.
- User-friendly guides to city permitting processes: [SDCI](#) and [SDOT](#).
- [Detailed zoning information](#).
- Visit our [permit type pages](#) for step-by-step instructions and forms for preparing your application and plans for review.

Requirements

SDCI Drainage Requirements

The following requirements are based on the current stormwater and side sewer codes.
The new 2016 Stormwater Code becomes effective on January 1, 2016. Projects with an accepted application (successful SDCI permit intake) date after December 31, 2015 will be reviewed under the new code. The drainage requirements indicated below are based on the 2016 Stormwater Code. If your project will be submitted prior to January 1, 2016, please contact the SDCI Drainage Reviewer to determine drainage requirements.

Existing Public Drainage Infrastructure

Sanitary sewer main location: **NW 36TH ST / 1st Ave NW**

Sanitary sewer main size: **36-inch / 21-inch**

Storm drainage main location: **NW 36TH ST**

Storm drainage main size: **18-inch**

Drainage

Infiltration Investigation Required: No

This project is in an area that does not require Infiltration Investigation/Evaluation to meet On-site Stormwater Management, Flow Control, or Water Quality requirements.

Project Type and Drainage Basin

The storm drainage point of discharge ([SMC 22.805.020](#)) is located at: **Public storm drain system NW 36TH ST**

Project Type: **Parcel-based**

verification that soil conditions allow cuts to stand unsupported. Include detailed cross sections.

Please show all existing and proposed retaining walls/rockeries and the exposed height.

If shoring will be required, please provide submittals by geotechnical and structural engineers and show the proposed system on the submitted drawings. Include detailed cross sections.

Existing ROW Conditions

NW 36TH ST

Street conditions:

Asphalt paving

Visible pavement width is: 60 Feet

Curb conditions:

Curb adjacent to site

Concrete

Approximate curb height: 4 inches inches

A storm inlet is located <350 ft from the site and prior to crossing a public right of way. CB is located on N 36TH Street and 1ST Ave NW
It appears that drainage from that discharge point will remain in the gutter line all the way to the nearest inlet structure, but this assessment is preliminary and it is the responsibility of the applicant to meet all relevant SW code requirements.

1ST AVE NW

Street conditions:

Concrete paving

Visible pavement width is: 25 Feet

Curb conditions:

Curb adjacent to site

Concrete

Approximate curb height: 4 inches inches

A storm inlet is located <350 ft from the site and prior to crossing a public right of way. CB is located on 1ST Ave NW and N 36TH Street.
It appears that drainage from that discharge point will remain in the gutter line all the way to the nearest inlet structure, but this assessment is preliminary and it is the responsibility of the applicant to meet all relevant SW code requirements.

Potential Impacts to Seattle Parks Property

No parks property in vicinity

Tree Protection

Trees greater than 6 inches in diameter as measured 4.5 ft above ground are present on the site but not shown on the site plan. Show the drooping of

- all trees on the site,
- adjacent trees that encroach on the site that are greater than 6 inches in diameter as measured 4.5 ft above ground, and
- all trees located in the adjacent ROW.

Include common and scientific names for all trees shown. For more information, see [Director's Rule 16-2008](#) and [Tip 242](#).

Per [SMC 25.11](#) and [DB 16-2008](#), exceptional trees may be located on the site. Clearly label all exceptional trees.

Construction Stormwater Control

All projects with earth disturbance, regardless of size, require temporary and permanent stormwater control in accordance with the Construction Stormwater Control (CSC) Technical Requirements Manual (Director's Rule 17-2017, Volume 2, [Storm Water Manual 1008-1-3](#)).

Show the following on the Construction Stormwater Control and Soil Amendment Standard Plan:

Place compost socks, compost berms, filter fabric fencing, straw bales, straw wattles, or other approved perimeter control BMPs to eliminate construction stormwater runoff.

Show the location of a stabilized construction access to the site; show methods to eliminate uncontrolled conveyance of mud and dirt into the right of way (ROW).

Place silt-trapping inserts in receiving catch basins located within 10 feet of construction entrance.

Cover bare soil with compost blankets, straw, mulch, matting, or other approved equal to control construction stormwater runoff.

Cover stockpiles and bare slopes with compost blankets, tarps, matting or other approved equal to control construction stormwater runoff.

A First Ground Disturbance inspection is required before any ground disturbance related to this permit, including demolition, tree cutting, clearing, grubbing, and grading. After your permit is issued, schedule an inspection by calling (206) 684-8900 or [online](#).

Inspectors Notes

Include earthwork calculations submittals indicate total cut quantities and total fill/backfill quantities.

Modifications to ECA Submittal Requirements

Standard Submittal Requirements for Projects in an ECA

Submit a geotechnical report with the permit intake submittal package. Geotechnical report must be signed and stamped by a geotechnical engineer licensed in the State of Washington per [SMC 22.120.020](#), [SMC 23.09](#), and Director's Rule 5-2016, [General Duties & Responsibilities of Geotechnical Engineers](#).

Provide a topographic survey with 2-foot contours on and within 25-feet of the property, stamped by a licensed land surveyor (see [SMC 25.09.1304](#)).

Delineate the clearing limits on the site plan

Delineate the steep slope critical area on a site plan based on the survey (per [SMC 25.09.020](#) A30(S)). Provide area calculations for the steep slope delineation.

Show the steep slope buffer. Generally, the buffer is 15-feet from the top and/or toe of the slope

Seattle City Light Requirements

Street/Alley Requirements

NW 36TH ST

Clearance from Structures: Fourteen (14) feet radial clearance is required between power lines and any part of the permanent structure per

Drainage Basin: Designated receiving water

Drainage Control Compliance

Drainage Review Required: Yes

Drainage Control Review is required for this project per [SMC 22.807.020](#). Submit a completed **Standard Construction Stormwater Control and Post Construction Soil Management (CSC) (2016) Plan** and a completed **Standard Drainage and Wastewater Control (DWC) Plan** including the **Site and Drainage Control Summary from On-site Stormwater Management Calculator**.

Note: For projects with 5,000 square feet or more of new plus replaced hard surface, a comprehensive drainage control plan, construction stormwater control plan, soil amendment plan, and drainage report shall be prepared by a licensed engineer.

Soil Amendment Required: Yes

All new, replaced, and disturbed topsoil shall be amended with organic matter per rules promulgated by the Director prior to completion of the project to improve on-site management of drainage water flow and water quality per [SMC 22.805.003.A](#), [SMC 22.805.040](#), or [SMC 22.805.050.A](#). Complete the **Post Construction Soil Management Plan** on the [Standard CSC/Soil Plan](#).

On-site Stormwater Management Required: Yes

Parcel-based projects with 7,000 square feet or more of land disturbing activity, 1,500 square feet or more of new plus replaced hard surface or, if on a lot or parcel created or reduced in size on or after January 1, 2016, 750 square feet or more of new plus replaced hard surface, must implement **On-site Stormwater Management** (infiltration, dispersion, bioretention, green roofs, permeable pavement, rainwater harvesting, etc.) to manage runoff from all hard surfaces on-site per [SMC 22.805.050.B](#), and Director's Rule 21-2018.

Submit an **On-site Stormwater Management Calculator** and show the On-site Stormwater Management BMP's and surface designation on the **Standard Drainage and Wastewater Control Plan**.

Flow Control Required: No*

Based on the information provided, adherence to Flow Control Standards is not required for this project.

*Note: If groundwater will be discharged to the public drainage system, Flow Control may be required. Projects which propose to permanently discharge groundwater shall comply with Minimum Requirements for Discharges to a Capacity-constrained System, [SMC Section 22.805.050.A.6](#) and [SMC Section 22.805.060.A.6](#).

Water Quality

This project site discharges to a water body that requires treatment ([SMC.805.050.D](#)).

Basic Water Quality Treatment Required: Yes

This project site discharges to a water body that requires basic treatment ([SMC 22.805.050.D](#)). Parcel-based projects with 5,000 square feet or more of new plus replaced pollution generating hard surfaces, or 3/4 acre or more of new plus replaced pollution generating pervious surfaces must provide **Basic Water Quality Treatment**. Based upon the information provided on the Preliminary Application Form pertaining to existing and proposed hard surfacing this project shall provide a **Basic Treatment Facility** that treats the required runoff volume or flow rate from pollution generating surfaces ([SMC 22.805.050.B1](#), B2).

Wastewater

The wastewater point of discharge ([SMC 21.16.070.B](#)) is located at **NW 36TH ST at 1st Ave NW**.

King County Capacity Charge: All homeowners and building owners in King County's service area (i.e., all Seattle Public Utility Combined and Sanitary Sewers) whose home or building was connected, reconnected or had a new service established to a sewerage facility served by King County on or after Feb. 1, 1990 must pay a **King County Capacity Charge**. (King County Code No. 26.84.050.01.1)

Permanent and Temporary Dewatering

Approved Point of Discharge for Sub-surface Drainage (e.g. footing drains, sub-surface wall drains, underdair drains, etc.): **Public Storm Drain Main.**

NW 36TH ST

Permanent Groundwater Dewatering

Per [SMC 22.805.050.C.7](#), **parcel-based projects that will permanently discharge groundwater to a public drainage system or to a public combined sewer (e.g. the subsurface footing drains or wall drains that extend into a natural sub groundwater zone) shall also comply with subsection SMC 22.805.080.B.4 (Peak Control Standard) if the total new plus replaced hard surface is 2,000 square feet or more.**

Side Sewer

Connections to Existing Side Sewers

The existing side sewer for a new or converted building or dwelling unit may be reused if the requirements of [SMC 21.16.240](#) are met.

If there is an increase of dwelling units or buildings, the **Side Sewer Evaluation and Certification Form** must be completed by a licensed engineer and the **side sewer will typically require rehabilitation (e.g. pipe lining)** as directed by Section V.4 of the Requirements for Design and Construction of Side Sewers (Drainage and Wastewater Discharges) **Director's Rule DRP 4-2011/SPU 2011-004**.

Fats, Oils, Grease (FOG)

For information: In serving establishments (i.e. restaurants, cafes, lunch counters, cafeterias, bars and clubs, hotels, hospitals, sanitariums, factory or school kitchens, or other establishments where grease is introduced into the drainage or sewage system), there may be additional requirements to control the discharge of fats, oils, and grease (FOG) into the sanitary sewer system.

Please contact: Gary.Christiansen@seattleu.gov in SPU's FOG Program to determine pretreatment requirements to protect the municipal sewer system from FOG generated by food preparation and handling.

Any internal plumbing modifications require a plumbing permit from King County Public Health 206-684-5198.

For more information, visit: <http://www.seattleu.gov/util/MyServices/DrainageSewer/FatsOilsGrease/index.htm>

<http://www.kingcounty.gov/healthservices/health/foodsafety/FoodBusiness.aspx>

Conservation

Energy Smart Services. Seattle City Light offers energy conservation grants for large new construction projects designed to exceed the energy efficiency requirements of the Seattle Energy Code. Contact Seattle City Light early in the design process to receive free energy analyses and funding estimates by utility staff, and funding for whole-building energy analysis by private sector consultants. The program is win-win. Tenants and buyers are attracted by reduced operating costs, while the project developers benefit from additional LED points and grants to help offset increases in construction costs. The utility meets load growth through an investment that is less expensive than building new generating facilities. Designers are better able to promote the economics of cutting edge designs. Call (206) 684-3254 today to take advantage of this opportunity.

Notes to Applicant

For new service please contact the Electrical Service Representative for your area 12 months before new service is required to determine your electric service design, service location and what kind of service is available at the building site. The design of the distribution system to serve the site shall be within the sole discretion of City Light. An Application for Electrical Service must be submitted to Seattle City Light, (<http://www.seattleu.gov/light/electricservice/application.asp>). The Electrical Service Representative should also be contacted to coordinate electrical disconnections prior to demolition and temporary power for construction. Your Electrical Service Representative is: Shana Kesseling, 206-684-0791, shana.kesseling@seattleu.gov. Be advised that it is the applicant's responsibility to seek guidance from City Light. Failure to contact City Light early in the permit process could severely impact your project's scope, schedule and budget. This responsibility rests solely with the applicant.

SDOT Requirements

The City of Seattle's Right-of-Way Improvements Manual (ROWIM) and SDOT's Street & Sidewalk Pavement Opening and Restoration (PORR) Director's Rule 2004-02 may be accessed from SDOT's Street Use website at: http://www.seattleu.gov/transportation/stuse_doc.htm. Whenever possible, specific reference notation for these two design documents is noted next to the design characteristics below. Be advised that these specific section and chapter references are provided as preliminary guidance only and are not comprehensive in scope.

SDOT Permitting Information

SDOT Plan Requirements: Plan

All work in the public right-of-way requires a permit. Construction use permits are required when performing non-utility work in the ROW, including material and vehicle staging, crane activity, or installing approved encroachments. Minor utility works are required for utility work that does not trigger the utility major process. Please visit SDOT's Street Use website at: http://www.seattleu.gov/transportation/stuse_sip.htm and review Client Assistance Memo 2109: <http://www.seattleu.gov/Documents/Departments/SDOT/CAM/CAM2109.pdf> for more information.

Based on the scope of your project and the proximity to the lot line a SIP may be triggered by the extent of construction impacts to existing street, sidewalk or alley improvements. If more than 2,000 sf of impervious surface in the right of way will be replaced a SIP will be required.

Existing conditions review

The city's **Right-of-Way Improvements Manual** identifies recommended curb-to-curb, planting strip, and sidewalk widths by street type. The street types forming this site are: NW 36th St: Urban Village Main; 1st Ave NW: Urban Village Neighborhood Access
Coordinate with Metro Transit regarding potential bus stop upgrades, service changes and/or temporary stop relocation. Refer to the Right-of-Way Improvements Manual (ROWIM) §.6 for additional transit zone enhancements.
Consider pedestrian and bicycle accessibility and safety enhancements along the existing [Safe Routes to School](#) walking route.
Proposed alterations to existing transportation operations must be approved by SDOT.

This site is located within an existing urban center or urban village. Projects in urban villages must comply with the standard sidewalk cross-section defined in the Streets Illustrated Right-of-Way Improvements Manual, Section 3.2.

City planning contact

Site is located adjacent to a planned or proposed project identified in the [Transit Master Plan](#). The following projects are planned along the site frontage(s): 1st Ave NW & N 36th St - Full Signal Fremont Transit-Plus Multimodal Corridor (Route 40 TPNC)
Site is located adjacent to a planned or proposed project identified in the [Bicycle Master Plan](#). The following projects are planned adjacent to the site: 1st Ave NW: Neighborhood Greenway planned.

Street Improvement Requirements

NW 36TH ST

Protect existing street trees: Street trees must be protected from injury unless approved for removal by SDOT Urban Forestry. Placing or storing construction materials within the drooping of a street tree or any action predictably leading to the premature death of a street tree or permanent damage to its health, including root cutting, girdling, unauthorized pruning, are not allowed per Director's Rule 3-2014. SDOT Urban Forestry may approve removal and replacement of street trees based on condition assessment. A 2-week Public Notice posting is required before removal of trees approved by SDOT for removal and replacement. **To apply for an SDOT Urban Forestry Construction Permit to authorize pruning or removal, e-mail your request to DOT_LAB@seattleu.gov.**

New street trees: Street trees shall be installed between sidewalks and curbs in the planting strip or tree pits, per Streets Illustrated standards (see section 3.6) unless otherwise approved by the SDOT Urban Forestry Landscape Architect's Office. Street trees must be planted between February 1st and April 30th per [SMC 25.09.020](#) A30(S). Property owners are responsible for the ongoing maintenance of street trees, per Director's Rule 03-14 Street Tree Manual. **To apply for an SDOT Urban Forestry Construction Permit for tree planting, e-mail your request to SDOT Urban Forestry at DOT_LAB@seattleu.gov and include the project address and SDOT project number in the subject line.** All improvements on private property must accommodate the right of way elevation at the property line using the standard cross-section in the ROWIM. Right of way grading may be required to provide vehicular and pedestrian access that meets the standard cross-section.

Other Requirements

- A King County Residential and Non-residential Sewage Treatment Capacity forms will be required at permit intake. Both of these forms can be found on the Seattle Stormwater web page: [http://www.seattleu.gov/sdc/codes/codes-we-enforce-\(a-z\)/stormwater-code](http://www.seattleu.gov/sdc/codes/codes-we-enforce-(a-z)/stormwater-code)

SDCL Land Use Code Requirements

Street Requirements

Based on the scope of the proposed project, the following street improvements are required per Chapter 23.53 of the Seattle Municipal Code. Please review Right-of-Way Improvements Manual for design criteria (<http://www.seattleu.gov/transportation/rowimmanual/manual/>). Show required street improvements on your "enhanced site plan" at SDCI permit application intake. If an SDOT Street Improvement Plan (SIP) is required, please list SDOT project number and SDOT contact name on the enhanced site plan. Street Improvement Plans must be accepted by SDOT prior to SDCI permit application intake.

NW 36TH ST

Street Trees are required to meet Land Use Code Requirements for this project. Please see the SDOT portion of this PAR to view these requirements.

Existing curbs that will no longer be used are required to be removed, and the curbline reinstalled, per SDOT standards.

Any planning proposed within the ROW must be reviewed and approved by SDCI and SDOT.

The existing sidewalk, curb ramp, and/or accessible crossing does not appear to comply with the Right-of-Way Improvements Manual standards. Please work with SDOT to bring these improvements into compliance.

1ST AVE NW

Street Trees are required to meet Land Use Code Requirements for this project. Please see the SDOT portion of this PAR to view these requirements.

Existing curbs that will no longer be used are required to be removed, and the curbline reinstalled, per SDOT standards.

Any planning proposed within the ROW must be reviewed and approved by SDCI and SDOT.

The existing sidewalk, curb ramp, and/or accessible crossing does not appear to comply with the Right-of-Way Improvements Manual standards. Please work with SDOT to bring these improvements into compliance.

Alley Requirements

Alley to west

Based on the submitted documents, no alley improvements are required per [SMC 23.53.030](#).

Land Use

Based on the project scope, SEPA may be required. See DPD Director's Rule 7-2018, [State Environmental Policy Act \(SEPA\) Exemptions From Environmental Review Requirements When Establishing, Changing or Expanding A Use](#) for more details.

It appears that your project will require Design Review. A pre-submittal conference will be required. Please see [SMC 23.41](#) for more information about Design Review.

For Full and Administrative Design Review, see Tip 238, [Design Review: General Information, Application Instructions, and Submittal Requirements](#).

For Streamlined Design Review, see Tip 238B, [Streamlined Design Review: General Information, Application Instructions, and Submittal Requirements](#).

You will receive an email from the Department of Neighborhoods regarding the community outreach requirement associated with Design Review. The email will direct you to an attachment on your project on the [Seattle Services Portal](#).

Preliminary screening of your project has been completed and it appears that your proposal is located in an environmentally critical area (ECA) which may require an ECA review and SEPA. For additional information about ECAs and SEPA, visit the [SDO website](#).

Based on the preliminary scope, the project may qualify for a specific exemption under the Environmentally Critical Areas Ordinance. Application and decision on the exemption must be made before submittal of a application. See Tip 327a, [Environmentally Critical Areas Exemptions, Relief from Prohibition on Steep Slope Development, and Modifications to Submittal Requirements – Application Instructions and Submittal Requirements](#) and Tip 327b, [Environmentally Critical Areas – Small Project Waiver Application Instructions and Submittal Requirements](#) for more details.

Based on the preliminary site plan, an environmentally critical areas exception will be required. See Tip 328, [Environmentally Critical Areas Exceptions](#) for more details.

Alley access may be required

Other Requirements

Based on the preliminary scope of the project, DPD recommends a presubmittal conference prior to submitting an application. Details for preparing and submitting a presubmittal conference request form can be found at our Web site (http://www.seattleu.gov/util/MyServices/FormsBuilding_Permit/default.asp).

SITE ADDRESS		0	
PARCEL NUMBER		1972200120	
SITE DIMENSIONS		120' (NW 36TH ST) X 143' 1/2" (1ST AVE NW)	
LOT SIZE		14,798 SF	
ZONING CLASSIFICATION		NC2-55 (M) (NEIGHBORHOOD COMMERCIAL 55)	
NEIGHBORHOOD OVERLAY		FREMONT (HUB URBAN VILLAGE)	
BUILDING TYPES		SINGLE PURPOSE COMMERCIAL STRUCTURES, MULTI-STORY MIXED USE AND RESIDENTIAL STRUCTURES.	RETAIL & MULTI-FAMILY, MIXED USE
MISC		AIRPORT OUTER TRANSITIONAL SURFACE, FREQUENT TRANSIT	
HEIGHT	23.47A.012	THE HEIGHT LIMIT FOR STRUCTURES IN NC2-55(M) IS 55 FEET. APPLICABLE HEIGHT EXCEPTIONS ARE:	PROPOSED BUILDING HEIGHT=55' AVERAGE GRADE = 48'-3" Ref.A0.05
	23.47A.012.C.2 rooftop features	OPEN RAILINGS, PLANTERS, CLERESTORIES, GREENHOUSES, SOLARIUMS, PARAPETS, AND FIREWALLS MAY EXTEND UP TO 4 FEET ABOVE THE OTHERWISE APPLICABLE HEIGHT LIMIT.	PAPAPETS AND PV PANELS
		INSULATION MATERIAL OR SOIL FOR LANDSCAPING LOCATED ABOVE THE STRUCTURAL ROOF SURFACE MAY EXCEED THE MAXIMUM HEIGHT LIMIT BY UP TO 2 FEET IF ENCLOSED BY PARAPETS OR WALLS. ROOFTOP DECKS AND OTHER SIMILAR FEATURES MAY EXCEED THE MAXIMUM HEIGHT LIMIT BY UP TO TWO FEET.	
	23.47A.012.C.4	THE FOLLOWING ROOFTOP FEATURES MAY EXTEND UP TO 15 FEET ABOVE THE APPLICABLE HEIGHT LIMIT, AS LONG AS THE COMBINED TOTAL COVERAGE OF ALL FEATURES DOES NOT EXCEED 20 PERCENT (25 PERCENT IF THE TOTAL INCLUDES STAIR OR ELEVATOR PENTHOUSES)	ELEVATOR PENHOUSES < 20%
		Solar collectors; b.Mechanical equipment; c.Play equipment and open-mesh fencing that encloses it, as long as the fencing is at least 15 feet from the roof edge; d.and Stair and elevator penthouses may extend above the applicable height limit up to 16 feet.	
	23.47A.012.C.6	a.Solar collectors;b.Planters; shall be located at least 10 feet from the north lot line unless a shadow diagram is provided that demonstrates that locating such features within 10 feet of the north lot line would not shade property to the north on January 21 at noon more than would a structure built to maximum permitted height and FAR:	
STREET LEVEL USES	23.47A.005 C	In all NC and C zones, residential uses may occupy, in the aggregate, no more than 20 percent of the street-level street-facing façade.	
Parking	23.54.030.	60% MEDIUM SIZE PARKING DRIVEWAY RESIDENTIAL USE 10' MINIMAL A MINIMUM OF 20 PERCENT OF THOSE PARKING SPACES SHALL BE EV-READY.	12' PROVIDED @ 1ST AVE NW , 16' EXISTING ALLEY WIDTH REF.A211. COMPLIES REF.A211. COMPLIES
STREET LEVEL DEVELOPMENT	23.47A.008	A.2.B BLANK SEGMENTS OF THE STREET-FACING FACADE BETWEEN 2 AND 8 FEET ABOVE THE SIDEWALK MAY NOT EXCEED 20 FEET IN WIDTH. A.2.C THE TOTAL OF ALL BLANK FACADE SEGMENTS MAY NOT EXCEED 40 PERCENT OF THE WIDTH OF THE FACADE OF THE STRUCTURE ALONG THE STREET A.3 STREET FACING FACADES SHALL BE LOCATED WITHIN 10 FEET OF THE STREET LOT LINE, UNLESS WIDER SIDEWALKS, PLAZAS, OR OTHER APPROVED LANDSCAPED OR OPEN SPACES ARE PROVIDED. B. NON-RESIDENTIAL USES AT STREET LEVEL REQUIREMENTS: B.2.A 60% OF THE STREET-FACING FACADE BETWEEN 2 AND 8 FEET ABOVE THE SIDEWALK SHALL BE TRANSPARENT. B.3.A- NON-RESIDENTIAL-USSES SHALL EXTEND AN AVERAGE DEPTH OF AT LEAST 30 FEET AND MINIMUM DEPTH OF 15 FEET FROM THE STREET-LEVEL, STREET-FACING FACADE. B.4 NON-RESIDENTIAL USES AT STREET LEVEL SHALL HAVE A FOOR TO FOOR HEIGHT OF AT LEAST 13 FEET. D. WHERE RESIDENTIAL USES ARE LOCATED ALONG A STREET-LEVEL STREET-FACING FACADE, THE FOLLOWING REQUIREMENTS APPLY: D.1 AT LEAST ONE OF THE STREET-LEVEL STREET-FACING FACADES CONTAINING A RESIDENTIAL USE SHALL HAVE A VISUALLY PROMINENT PEDESTRIAN ENTRY. - D.2 THE FLOOR OF A DWELLING UNIT LOCATED ALONG THE STREET-LEVEL STREET- FACING FACADE SHALL BE AT LEAST 4 FEET ABOVE OR BELOW SIDEWALK GRADE OR SET BACK AT LEAST 10 FEET FROM THE SIDEWALK. GFA not counted towards FAR	REF. A0.10. COMPLIES REF. A0.10. COMPLIES COMPLIES, SMALL RETAIL OUTDOOR DECK PROVIDED AT SE CORNER. REF. A0.10. COMPLIES REF. A0.11. COMPLIES REF. SECTIONS. COMPLIES REF. PLANS. COMPLIES REF. A0.10 &A212 COMPLIES
FLOOR AREA RATIO		1&2 underground (4' above existing grade)	
		7 floor area of required bicycle parking for small efficiency dwelling units	
GFA	23.84A.014 - "G."	the number of square feet of total floor area bounded by the inside surface of the exterior wall of the structure as measured at the floor line, and any additional areas identified as gross floor area within a zone. 1. Floor area contained in stories above and below grade; 2.The area of stair penthouses, elevator penthouses, and other enclosed rooftop features; 3.The area of motor vehicle and bicycle parking that is enclosed; and 4.The area of motor vehicle parking that is covered by a structure or portion of a structure.	
MAXIMUM AREA		FAR MAX = 3.75, Min 2	FAR(3.75) * SITE AREA (14,798 SF) = 55,493 SF MAX
VEHICLE PARKING (23.54.015)		ALL RESIDENTIAL USES IN COMMERCIAL, RSL AND MULTIFAMILY ZONES WITHIN URBAN VILLAGES THAT ARE NOT WITHIN URBAN CENTER OR THE STATION AREA OVERLAY DISTRICT, IF THE RESIDENTIAL USE IS LOCATED WITHIN A FREQUENT TRANSIT SERVICE AREA- NO MINIMUM	

BICYCLE PARKING (23.54.015)		RESIDENTIAL: 1 PER 1 DWELLING UNIT RETAIL: 1 PER 5000SF BIKING 1 PER UNIT, ALL WEATHER PROTECTED MUST MEET BICYCLE REQUIREMENTS 23.54.015K, NO UP AND DOWN STAIRS SHORT TERM BIKE STORAGE 1 PER 20 UNITS, MUST BE ROUNDED UP TO EVEN WHOLE NUMBER, CAN POSSIBLY BE PLACED IN RIGHT OF WAY, DO NOT NEED TO BE WEATHER PROTECTED.	REF A007. COMPLIES
SOLID WASTE AND RECYCLABLE STORAGE AND ACCESS (23.54.040 TABLE A)		RESIDENTIAL: 575 SQUARE FEET PLUS 4 SQUARE FEET FOR EACH ADDITIONAL UNIT ABOVE 100 NON RESIDENTIAL: 50% (PER 23.54.040.B) OF 500 SQUARE FEET 15% REDUCTION PERMITTED IF TRASH ROOM HAS A LINEAR DIMENSION IN EXCESS OF 20'STORAGE SPACE FOR GARBAGE MAY BE SHARED BETWEEN RESIDENTIAL AND NON- RESIDENTIAL USES, BUT SEPARATE SPACES FOR RECYCLING SHALL BE PROVIDED	STORAGE SPACE: - RESIDENTIAL: 375 SQ FT & COMMERCIAL: 125 SQ FT COMPLIES
BUILDING SETBACK REQUIREMENTS (23.47A.014)		STREET: 0' SIDE: 0' ALLEY: 0' REAR: 5' OF LANDSCAPE UPPER LEVEL (13' TO 65') SETBACK: 10' - 23.47A.014.B	STREET: 0' SIDE: 0' ALLEY: 0' REAR: 17' - 0" 21'- 6"
SCREENING AND LANDSCAPING		GARBAGE DUMPSTERS: 6' WALLS UNENCLOSED PARKING GARAGE ON A LOT ABUTTING A RESIDENTIAL LOT: 5' DEEP LANDSCAPE AND 6' HIGH WALL ALONG EACH SHARED LOT LINE	EXISTING SCREEN WALL ON NORTH PROPERTY 5' DEEP LANDSCAPE PROVIDED
LANDSCAPING REQUIREMENTS		MUST COMPLY WITH SECTION 23.47A.16 LANDSCAPING THAT ACHIEVES A GREEN FACTOR SCORE OF 0.3 OR GREATER PURSUANT TO SECTION 23.86.019	GREEN FACTOR: 3, REF. LANDSCAPE
NOISE STANDARDS (23.47A.018)		ALL MANUFACTURING, FABRICATING, REPAIRING, REFUSE COMPACTING AND RECYCLING ACTIVITIES SHALL BE CONDUCTED WHOLLY WITHIN AN ENCLOSED STRUCTURE.	REFUSE COMPACTING AND RECYCLING ARE WITHIN THE BUILDING
ODOR STANDARDS (23.47A.020)		THE VENTING OF ODORS, VAPORS, SMOKE, CINDERS, DUST, GAS, AND FLUMES SHALL BE AT LEAST 10 FEET ABOVE FINISHED SIDEWALK GRADE, AND DIRECTED AWAY TO THE EXTENT POSSIBLE FROM USES WITHIN 50 FEET OF THE VENT.	WILL COMPLY
LIGHT AND GLARE STANDARDS (23.47A.022)		- EXTERIOR LIGHTING MUST BE SHIELDED AND DIRECTED AWAY FROM ADJACENT USES. - INTERIOR LIGHTING IN PARKING GARAGES MUST BE SHIELDED TO MINIMIZE NIGHTTIME GLARE AFFECTING NEARBY USES. - DRIVEWAYS AND PARKING AREAS FOR MORE THAN TWO VEHICLES SHALL BE SCREENED FROM ADJACENT PROPERTIES BY A FENCE OR WALL BETWEEN 5 FEET AND SIX FEET IN HEIGHT, OR	WILL COMPLY
AMENITY AREA (23.47A.024)		AMENITY AREAS AREA REQUIRED IN AN AMOUNT EQUAL TO 5% OF THE TOTAL GROSS FLOOR AREA IN RESIDENTIAL USE. - ALL RESIDENTS SHALL HAVE ACCESS TO AT LEAST ONE COMMON OR PRIVATE AMENITY AREA - AMENITY AREAS SHALL NOT BE ENCLOSED - PARKING AREAS, VEHICULAR ACCESS EASEMENTS, AND DRIVEWAYS DO NOT QUALIFY AS AMENITY AREAS, EXCEPT THAT A WOONERF MAY PROVIDE A MAX. OF 50% OF AMENITY AREA , IF THE DESIGN IS APPROVED, THROUGH A DESIGN REVIEW PROCESS. - COMMON AMENITY AREAS SHALL HAVE A MINIMUM HORIZONTAL DIMENSION OF 10' , AND N 250 SF MIN. - PRIVATE BALCONIES AND DECKS 60 SF MIN. AND NO HORIZONTAL DIMENSION SHALL BE LESS	AMENITY AREA REQUIRED OF 5% OF RESIDENTIAL AREA- REF.A006. COMPLIES

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106 NW 36th St

PROJECT ADDRESS

106 NW 36th St.
Seattle, WA 98107

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Infinity Investment Group

KEY PLAN

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08/06/21

MUP REV #1

No.

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Revision Description

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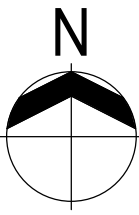
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LAND USE CODE SUMMARY

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Author

CHECKED

Checker

SCALE

DATE

01/21/22

PROJECT NO.

19-049

DRAWING NO.

REVISION NO.

-A004

Calculating Average Grade Level for Height Measurement

23.86.006 - Structure Height Measurements:

The height of the structure is the difference between the elevation of the highest point of the structure not excepted from applicable height limits and the average grade level. "Average grade level" means the average of the elevation of existing lot grades. Except as provided in subsection 23.86.006 A.2, average grade level is calculated, as follows:

- a. At the midpoint, measured horizontally, of each exterior wall of the structure, or
b. At the midpoint of each side of the smallest rectangle that can be drawn to enclose the structure.

FORMULA:
$$\frac{(\text{Midpoint Grade Elevations}) \times (\text{Rectangle Side Lengths})}{(\text{Total Length of Rectangle Sides})}$$

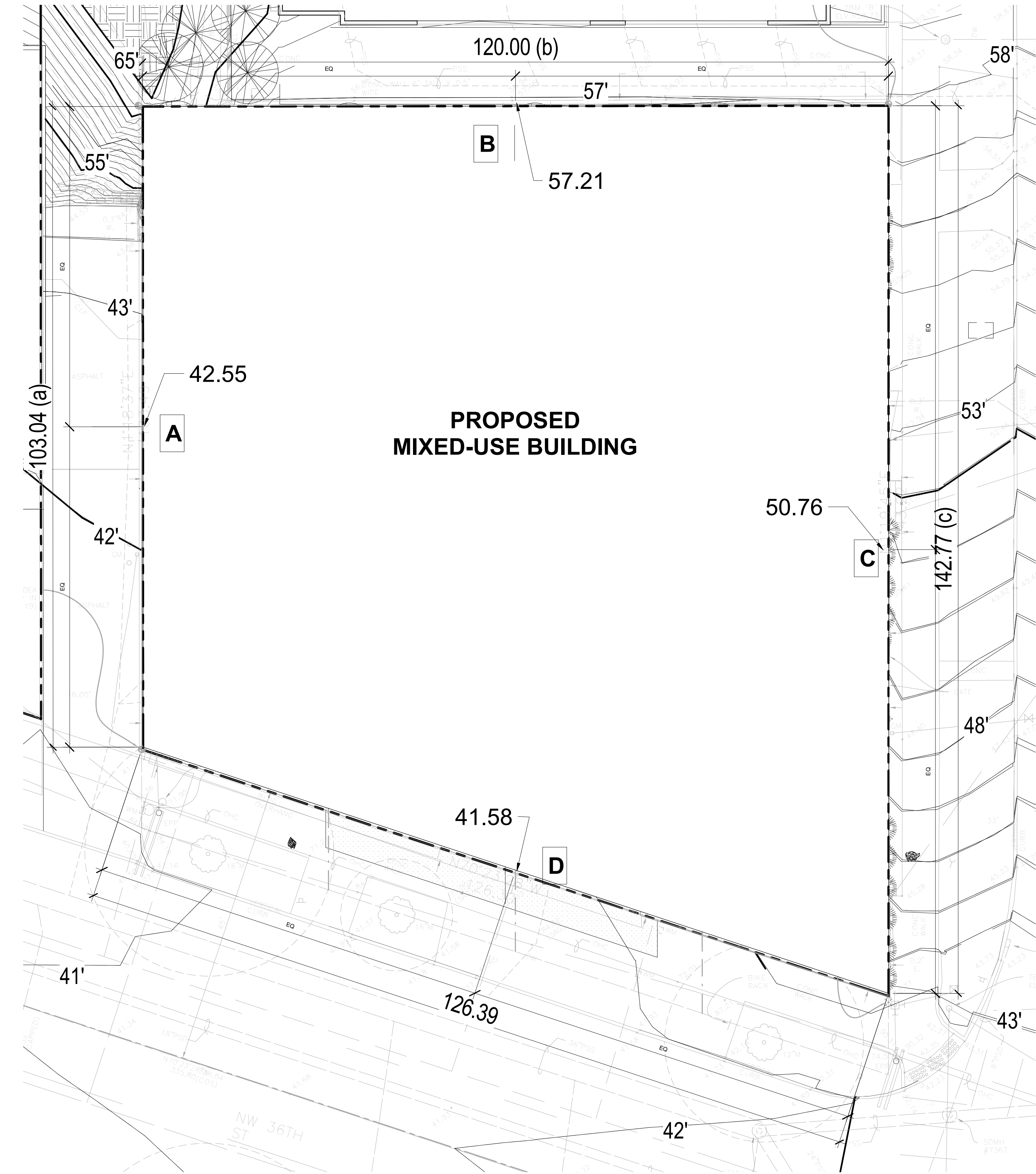
A : Midpoint Elevation
a : Rectangle Side Length

FORMULA:
$$\frac{(A \times a) + (B \times b) + (C \times c) + (D \times d)}{a + b + c + d}$$

1
$$\frac{(42.55' \times 103.04') + (57.21' \times 120') + (50.76' \times 142.77') + (41.58' \times 126.39')}{103.04' + 120' + 142.77' + 126.39'} = \frac{4384.35 + 6865.2 + 7247 + 5255.29}{492.2}$$

$$= \frac{23751.84}{492.2} = 48.25'$$

AVERAGE GRADE LEVEL = 48.25'



1 Average Grade Calculation
3/32" = 1'-0"

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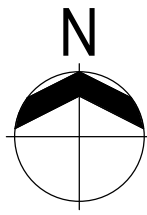
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PROJECT NO. 19-049

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Amenity Area Calculation:

Total Gross Area (Residential) = 52,703 gsf

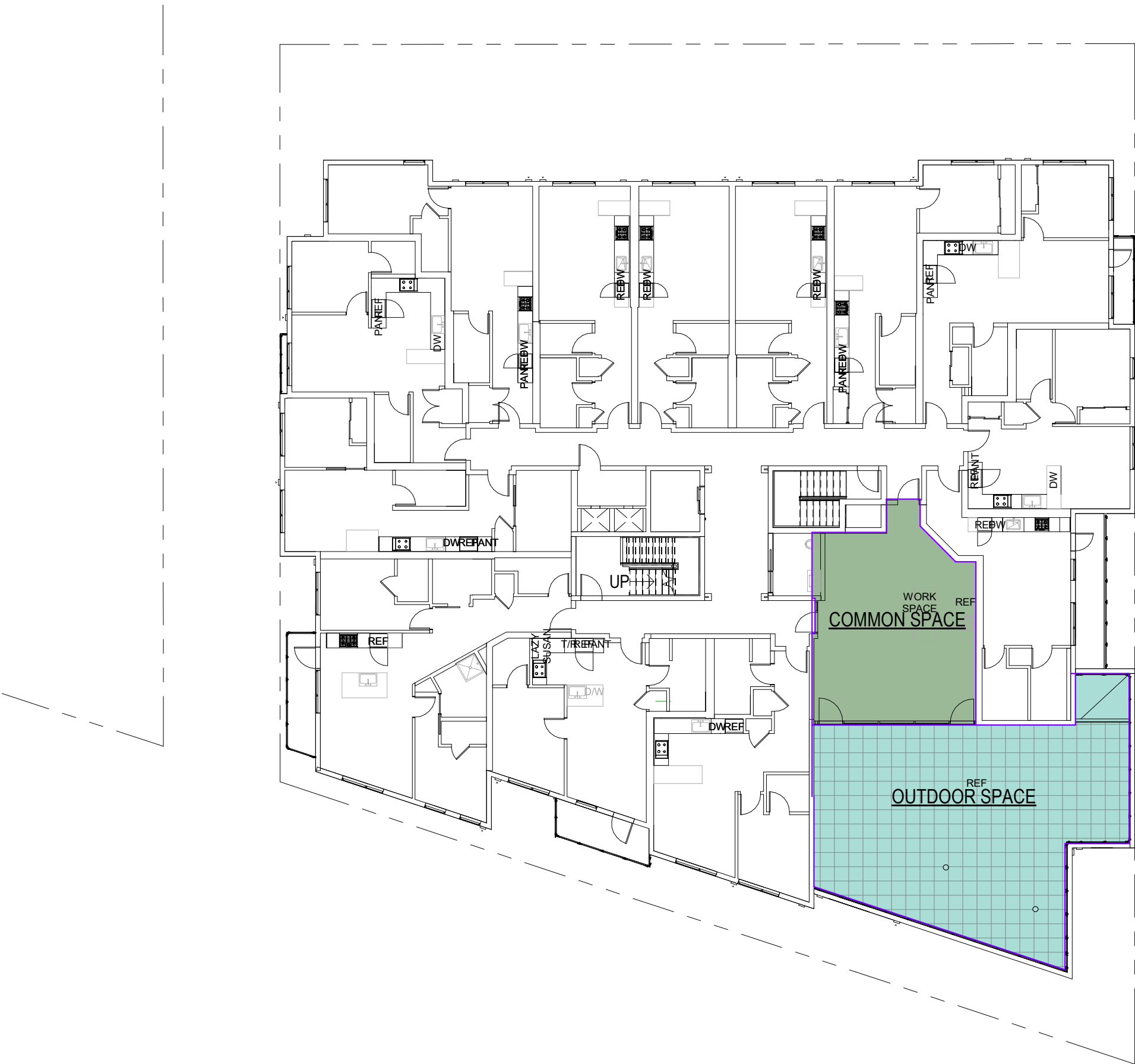
(Refer to sheet A009 for the residential Gross Area Calculation)

Min Amenity Area required: 5% of Gross Area
5% x 52,703 gsf = 2,635.15 gsf Required

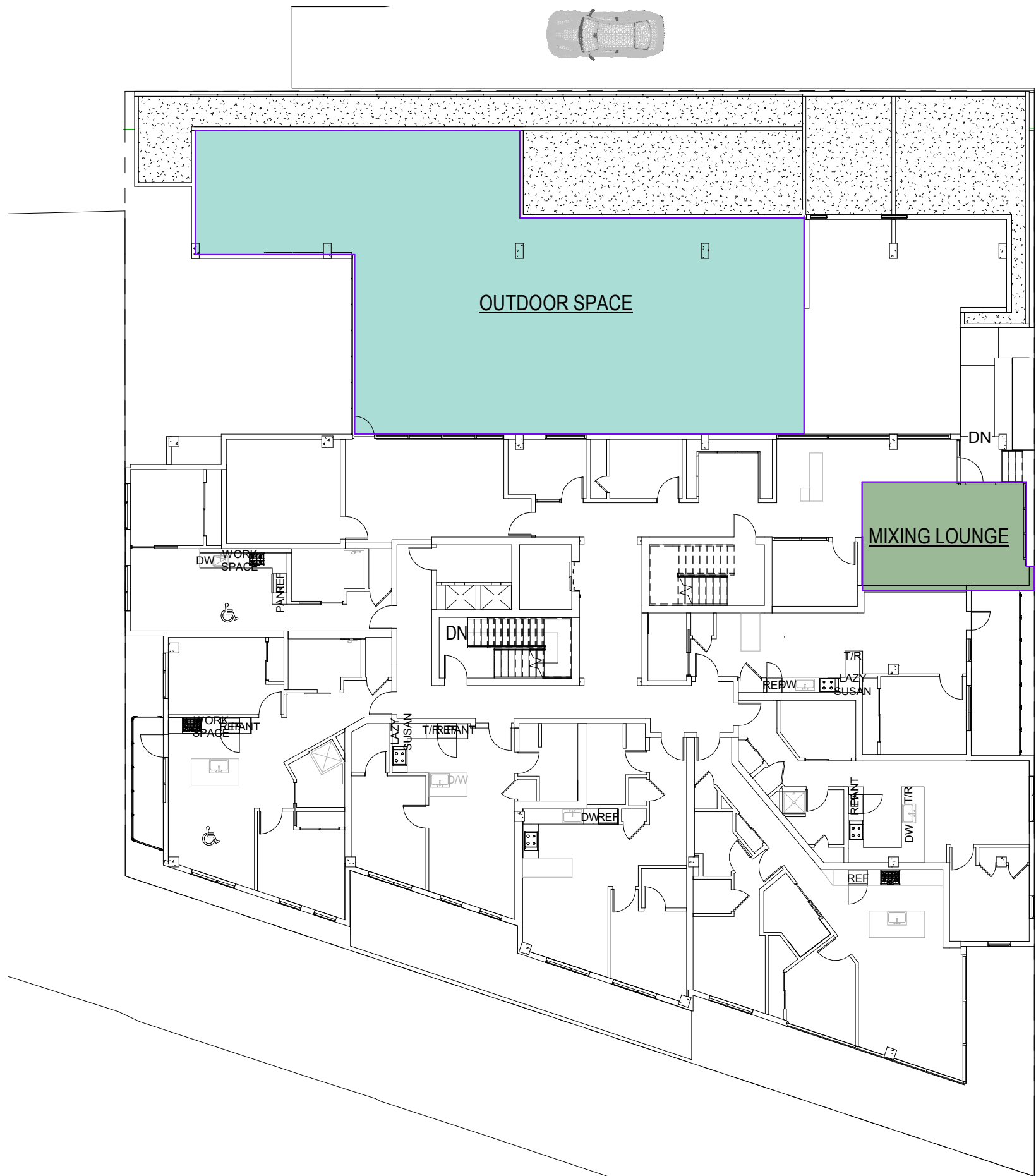
Proposed Total Amenity Area: **4,430 gsf > 2,635.15 gsf, Complies**

1

Area Schedule (Amenity)			
Level	Name	Area	Department
LEVEL 2			
LEVEL 2	MIXING LOUNGE	313 SF	INDOOR AMENITY
LEVEL 2	OUTDOOR SPACE	2284 SF	OUTDOOR AMENITY
		2596 SF	
LEVEL 6			
LEVEL 6	OUTDOOR SPACE	1212 SF	OUTDOOR AMENITY
LEVEL 6	COMMON SPACE	622 SF	INDOOR AMENITY
		1834 SF	
Grand total: 4		4430 SF	



2 LEVEL 6
1/16" = 1'-0"



1 LEVEL 2
1/16" = 1'-0"

AMENITY SPACE LEGEND

- INDOOR AMENITY
- OUTDOOR AMENITY

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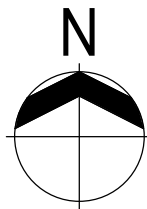
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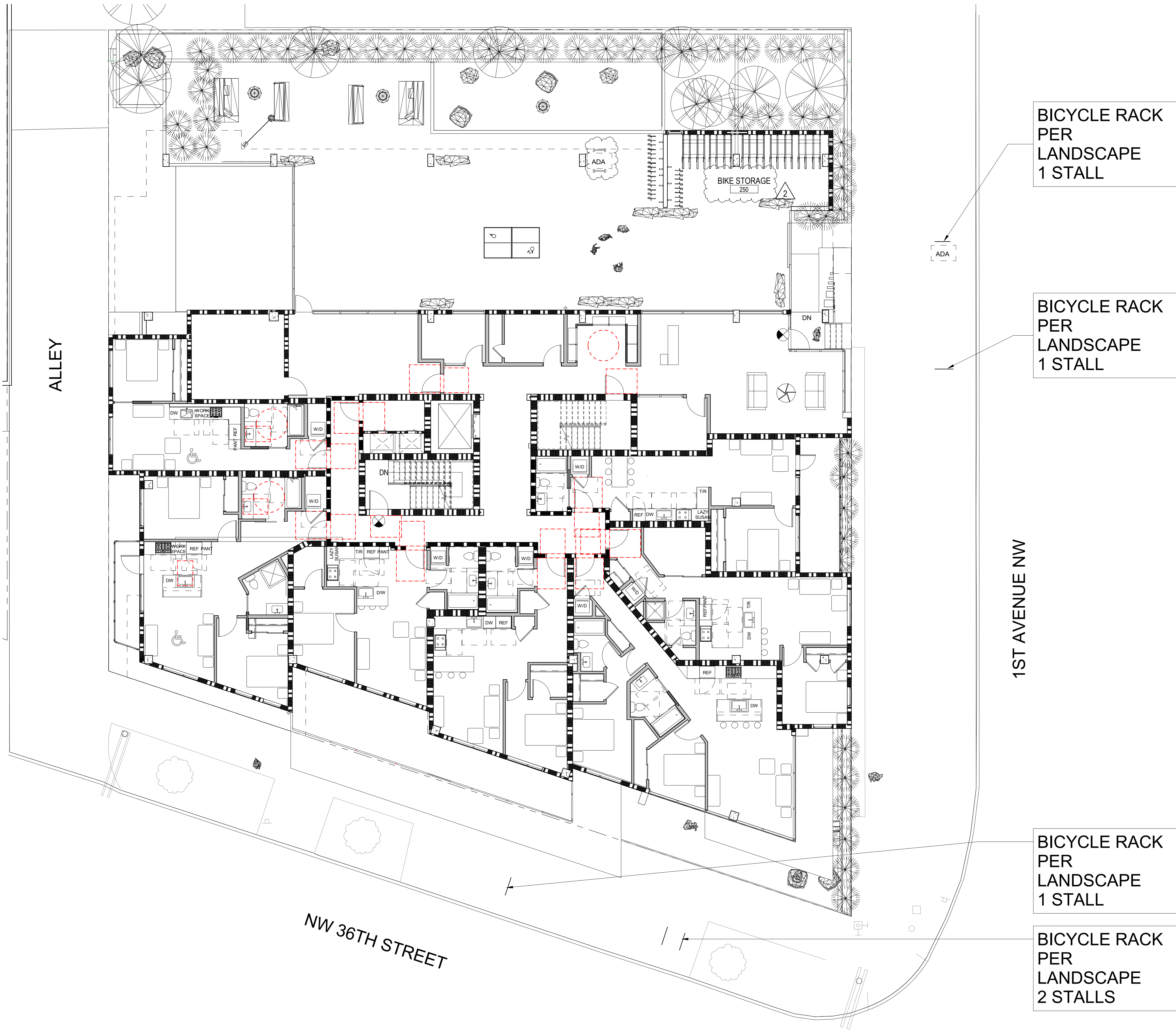
PROJECT NO. 19-049

DRAWING NO. REVISION NO.

-A006

Bicycle Parking Calculations (SMC 23.54.015)	
Commercial Uses: 1 per 5,000sf (Per Line A.1 of Table D for 23.45.015); 1 Bicycle Parking Space Required Commercial Use Area Proposed = 4,920 sf	
4,920 sf / 5,000 sf = 0.98 = 1 Bicycle Stalls Required Proposed: 1 Proposed at BIKE ROOM	
Commercial Uses: 1 per 1,000sf (Per Line A.1 of Table D for 23.45.015); 1 Bicycle Parking Space Required Commercial Use Area Proposed = 4,920 sf	
4,920 sf / 1,000 sf = 4.92 = 5 Bicycle Stalls Required Proposed: 5	
Residential Uses: 1 per 1 dwelling units (Per Line D.1 of Table D); 64 Bicycle Parking Spaces Required Residential Units Proposed = 64 Units	
64 Units / 1 = 64 = 64 Bicycle Stalls Required Proposed: 64 Proposed at BIKE ROOM	
Residential Uses: 1 per 20 dwelling units (Per Line D.1 of Table D); 64 Bicycle Parking Spaces Required Residential Units Proposed = 64 Units	
64 Units / 20 = 3.20 = 4 Bicycle Stalls Required Proposed: 5	

RESIDENTIAL BICYCLES PARKING SCHEDULE							
REQUIREMENT	TERM	LOCATION	UNIT QTY	REQUIRED	PROVIDED	ADA	TOTAL
1 PER 20 UNITS	SHORT	SITE	64	4	5	1	5
1 PER UNIT	LONG	BIKE ROOM	64	64	64	4	68
				73			



① Level 2 - Bicycle Count
1/8" = 1'-0"

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No.

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CODE COMPLIANCE - BICYCLE PARKING

DRAWN

Author

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Checker

SCALE

As indicated

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01/21/22

PROJECT NO.

19-049

DRAWING NO.

-A007

REVISION NO.

FAR Legend

- Residential Area
Retail

AREA PARTIALLY ABOVE GRADE: 2075.87 SF
Line at +60.00'
(4' under Ceiling, Ceiling at +54.50')
for Excluding FAR Partially Below
Grade per SMC 23.47A.013 D.2

① LEVEL 1
1" = 20'-0"

② LEVEL 2
1" = 20'-0"

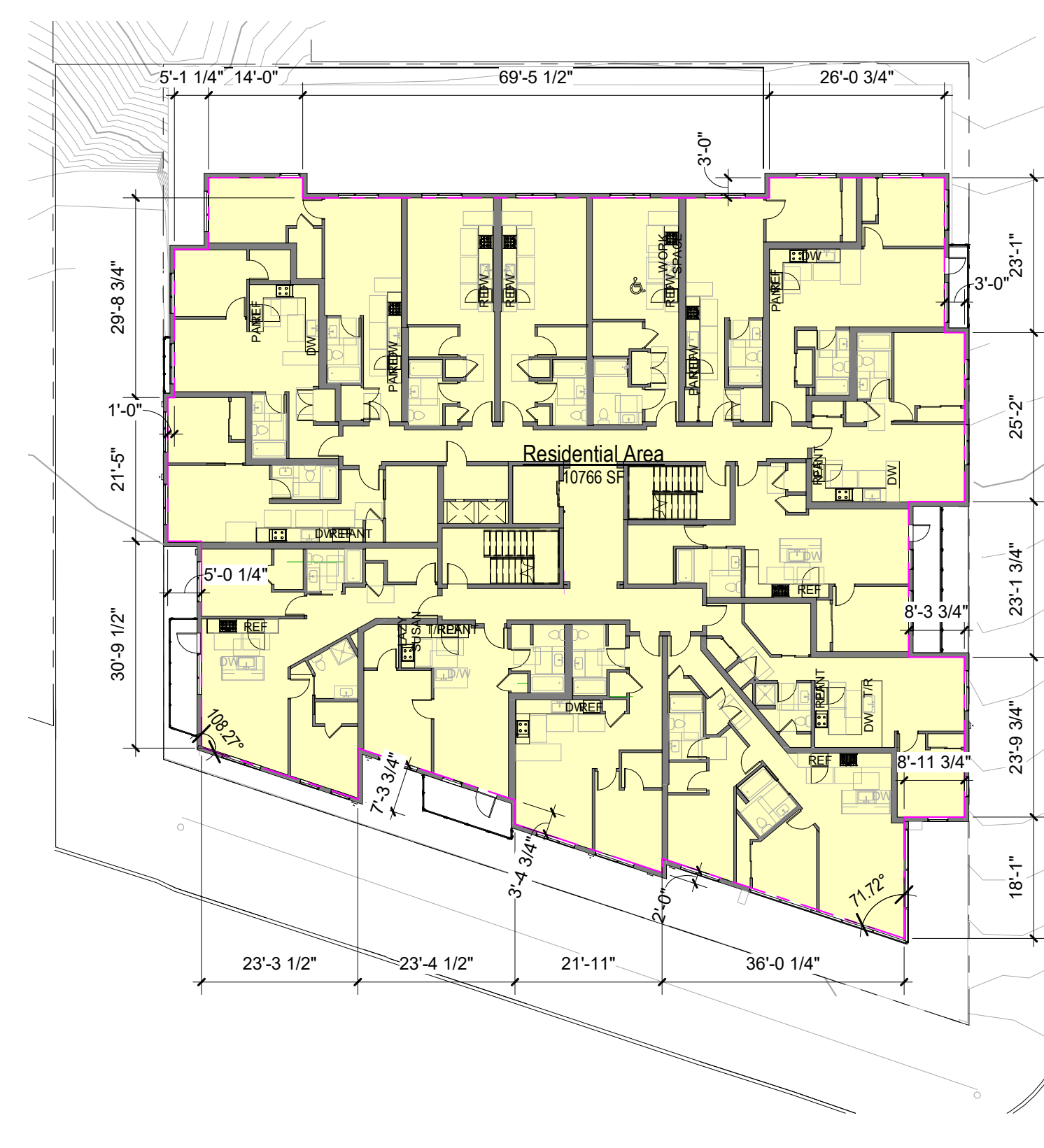
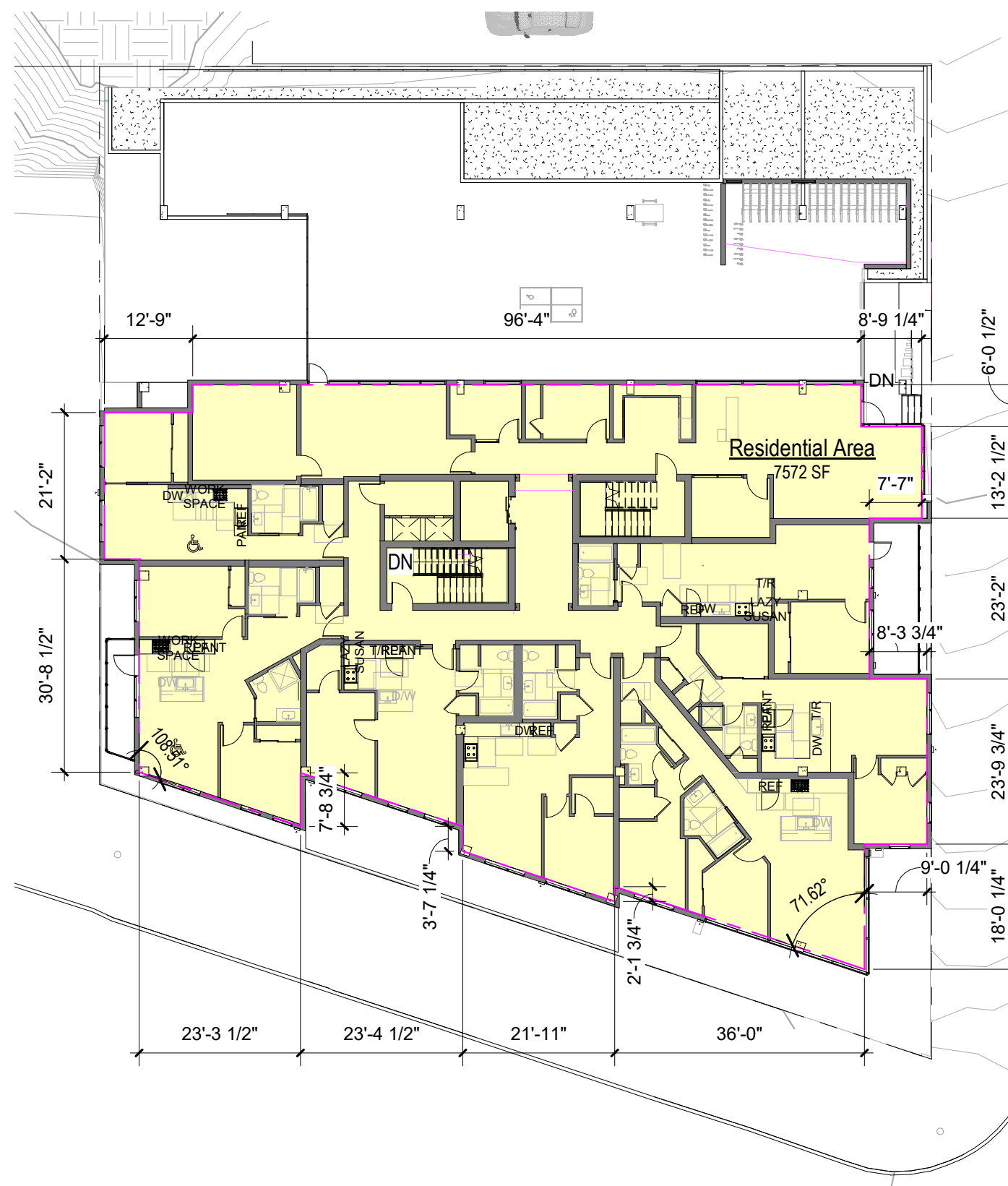
③ LEVEL 3
1" = 20'-0"



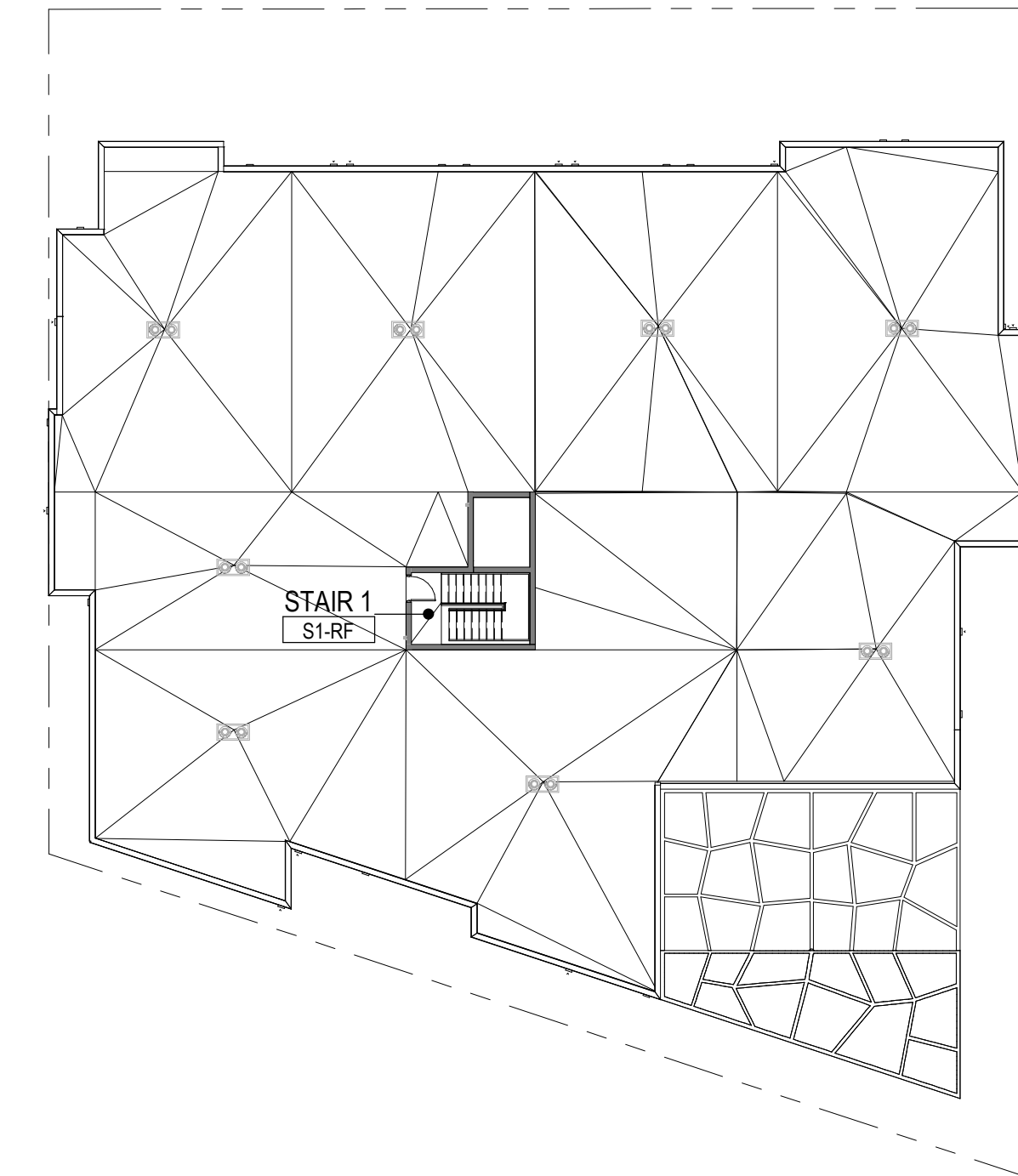
④ LEVEL 4
1" = 20'-0"



⑤ LEVEL 5
1" = 20'-0"



⑦ ROOF
1" = 20'-0"



1

MHA-C PAYMENT OPTION SUMMARY TABLE		
1	ZONE	NC2-55(M)
2	MHA AREA DESIGNATION PER MAP A FOR 23.58B.050 OUTSIDE OF DOWNTOWN, SM-SLU, AND SM-U ZONES	MEDIUM
3	ASSOCIATED PUDA WITH MHA-C REQUIREMENTS?	NO
4	TOTAL GROSS FLOOR AREA IN COMMERCIAL USE	4285
5	TOTAL CHARGEABLE FLOOR AREA IN COMMERCIAL USE	4000
6	CHARGEABLE FLOOR AREA IN COMMERCIAL USE EXCLUDED FROM MHA-C PAYMENT CALCULATION	285
7	FLOOR AREA FOR MHA-C PAYMENT CALCULATION	829
8	PAYMENT CALCULATION AMOUNT PER CODE (ADJUSTED FOR CHANGE IN CPI) OR PUDA	2362.65
9	MHA-C PAYMENT PROVIDED	

2

MHA-R PAYMENT OPTION SUMMARY TABLE		
1	ZONE	NC2-55(M)
2	MHA AREA DESIGNATION PER MAP A FOR 23.58B.050 OUTSIDE OF DOWNTOWN, SM-SLU, AND SM-U 85 ZONES	MEDIUM
3	ASSOCIATED PUDA WITH MHA-R REQUIREMENTS?	NO
4	TOTAL NUMBER OF RESIDENTIAL AND LIVE-WORK UNITS IN THE STRUCTURE	65
5	GROSS FLOOR AREA - RESIDENTIAL USE	59250
6	GROSS FLOOR AREA - LIVE-WORK UNITS	0
7	GROSS FLOOR AREA IN RESIDENTIAL OR LIVE-WORK USE EXCLUDED FROM MHA-R PAYMENT	4371.1
8	FLOOR AREA FOR MHA-R CALCULATION	54878.9
9	PAYMENT CALCULATION AMOUNT PER CODE (ADJUSTED FOR CHANGE IN CPI) OR PUDA	15.35
10	MHA-R PAYMENT PROVIDED	842939.9

2

*NOTE:

1. SEE AREA SCHEDULE ON A009 FOR GROSS FLOOR AREA NUMBERS.
2. SEE AREA SCHEDULE (FAR) ON A008 FOR CHARGEABLE FLOOR AREA NUMBERS.

MHA Calculation

Medium areas / Zones with an (M) suffix

MHA-C, payment option, 23.58B.040

Formula

$$(X - Y) \times Z = \text{MHA-C payment}$$

Where X is the total chargeable floor area in commercial use; Y is the chargeable floor area excluded from the MHA calculation; and Z is the MHA-C payment calculation amount per square foot.

$$4,285 \text{ SF (of chargeable floor area in commercial use)} - (4,000 \text{ square feet exclusion for street-level commercial uses}) \times (\$8.29) = \$2,362.65$$

MHA-R, payment option, 23.58C.040

Formula

$$[(X1 + X2) - Y] \times Z = \text{MHA-R payment}$$

Where X1 is the total gross floor area in residential use; X2 is the total gross floor area of live work units; Y is the floor area of residential/live-work parking located underground excluded from MHA calculation; and Z is the MHA-R payment calculation amount per square foot.

$$[(59,250 \text{ gross square feet in residential use}) + (\text{zero square feet of live-work units}) - (6447-2075.87) \text{ gross square feet in residential parking}] \times (\$15.36) = \$842,939.9$$

$$\text{GFA residential use not including parking} = 52,803$$

LAND USE ANALYSIS:

FAR CALCULATION

SITE AREA: 14,798 SF
FAR = 3.25
Max FAR: 3.75 (14,798) = 55493 SF

TOTAL PROPOSED FAR = 55,467 SF < 55,493 SF

Area Schedule (FAR)		
Level	Name	Area
LEVEL 1	Residential Area	1813 SF
LEVEL 2	Retail	4285 SF
LEVEL 3	Residential Area	7572 SF
LEVEL 4	Residential Area	10766 SF
LEVEL 5	Residential Area	10766 SF
LEVEL 6	Residential Area	9498 SF
Grand total: 7		55467 SF

PROJECT NAME

106 NW 36th St

PROJECT ADDRESS

106 NW 36th St.
Seattle, WA 98107

CLIENT

Infinity Investment Group

KEY PLAN

2	01/21/22	MUP REV #2
1	08/06/21	MUP REV #1

No.	Date	Revision Description
REVISIONS		

DRAWING STATUS

MUP REV #2

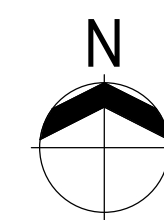
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FLOOR AREA RATIO & MHA

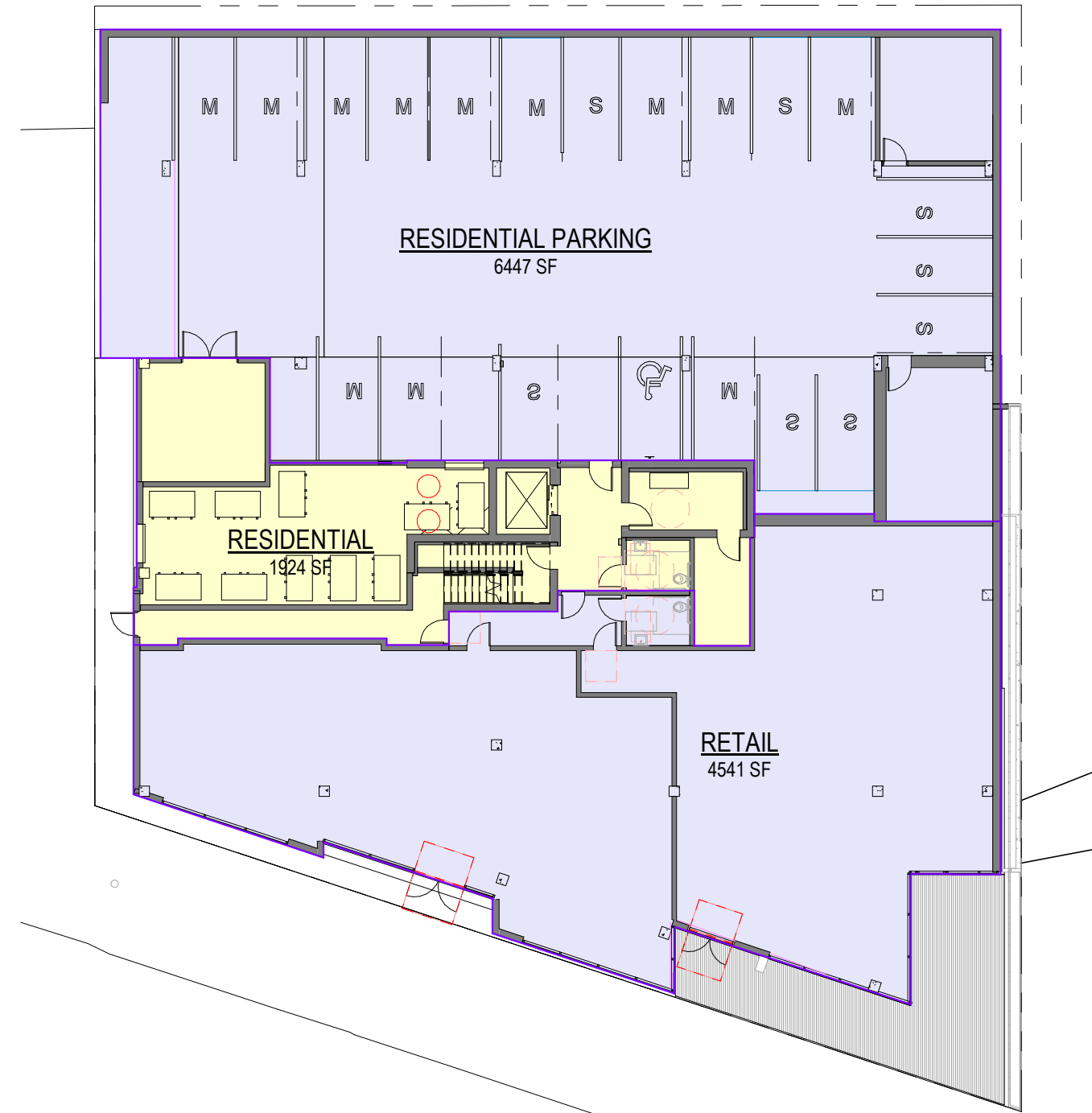
DRAWN	Author	CHECKED	Checker
SCALE	1" = 20'-0"	DATE	01/21/22

PROJECT NO. 19-049

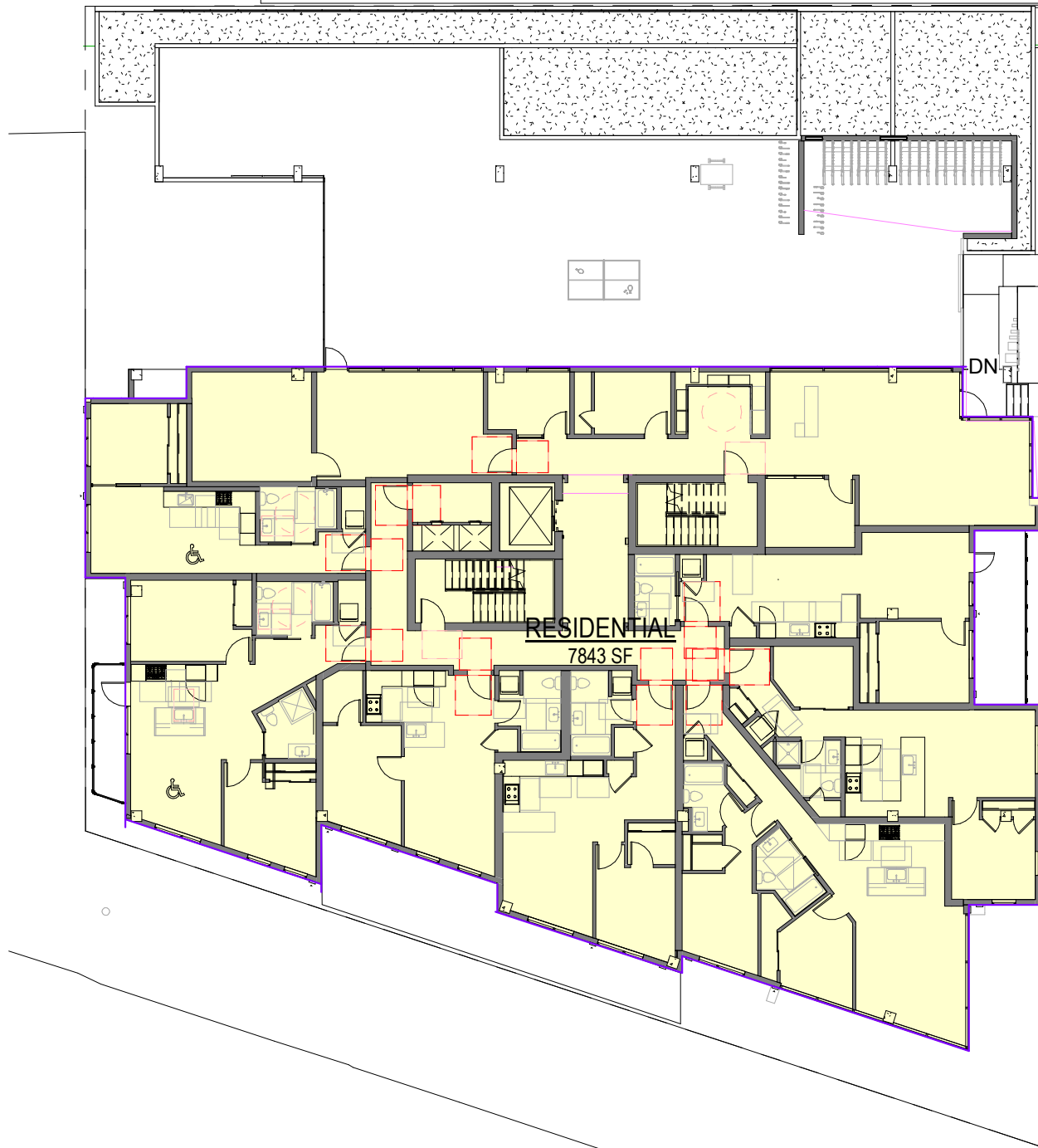
DRAWING NO.

-A008

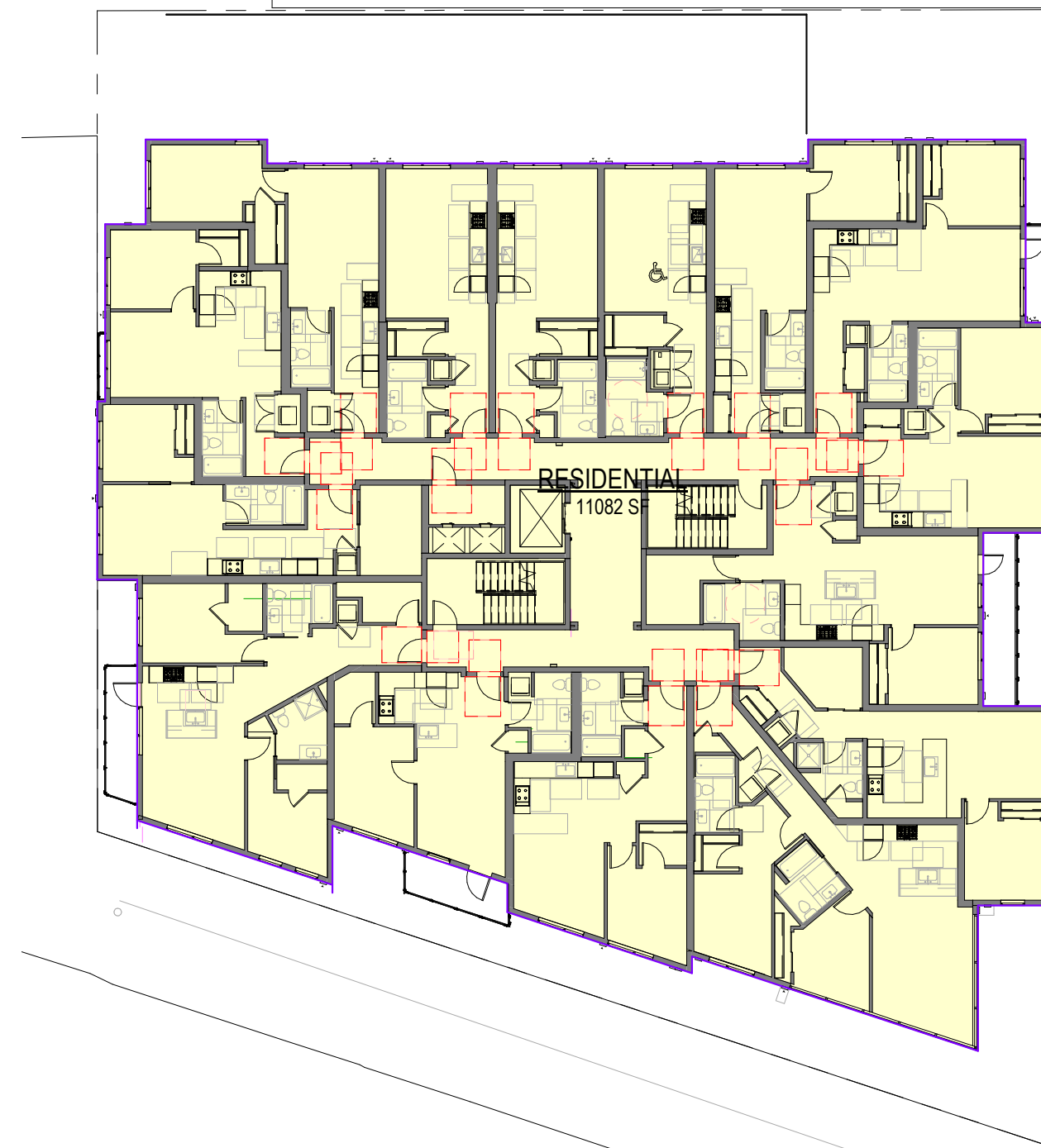
REVISION NO.



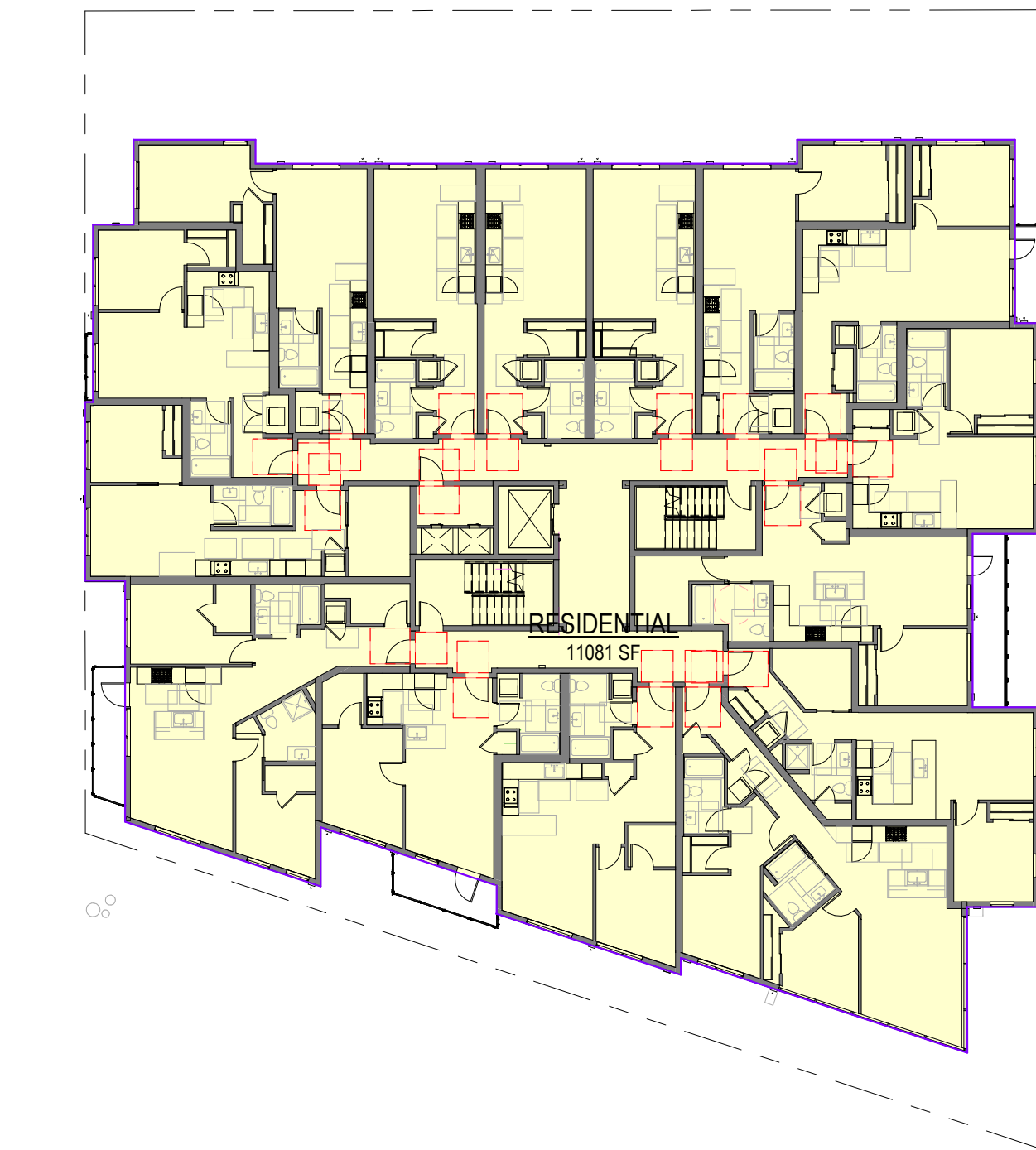
1 LEVEL 1 - Gross
1" = 20'-0"



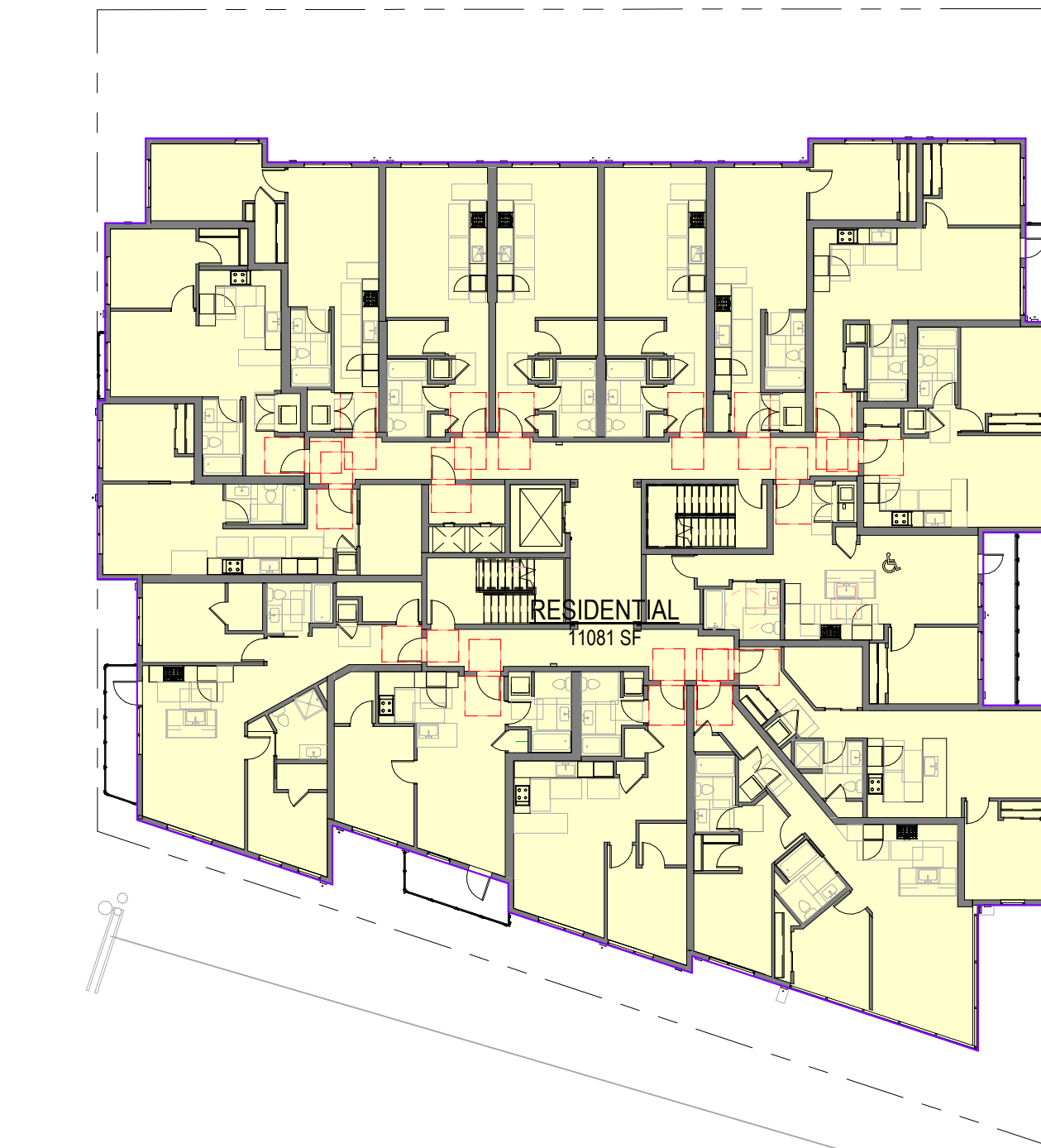
2 LEVEL 2 - Gross
1" = 20'-0"



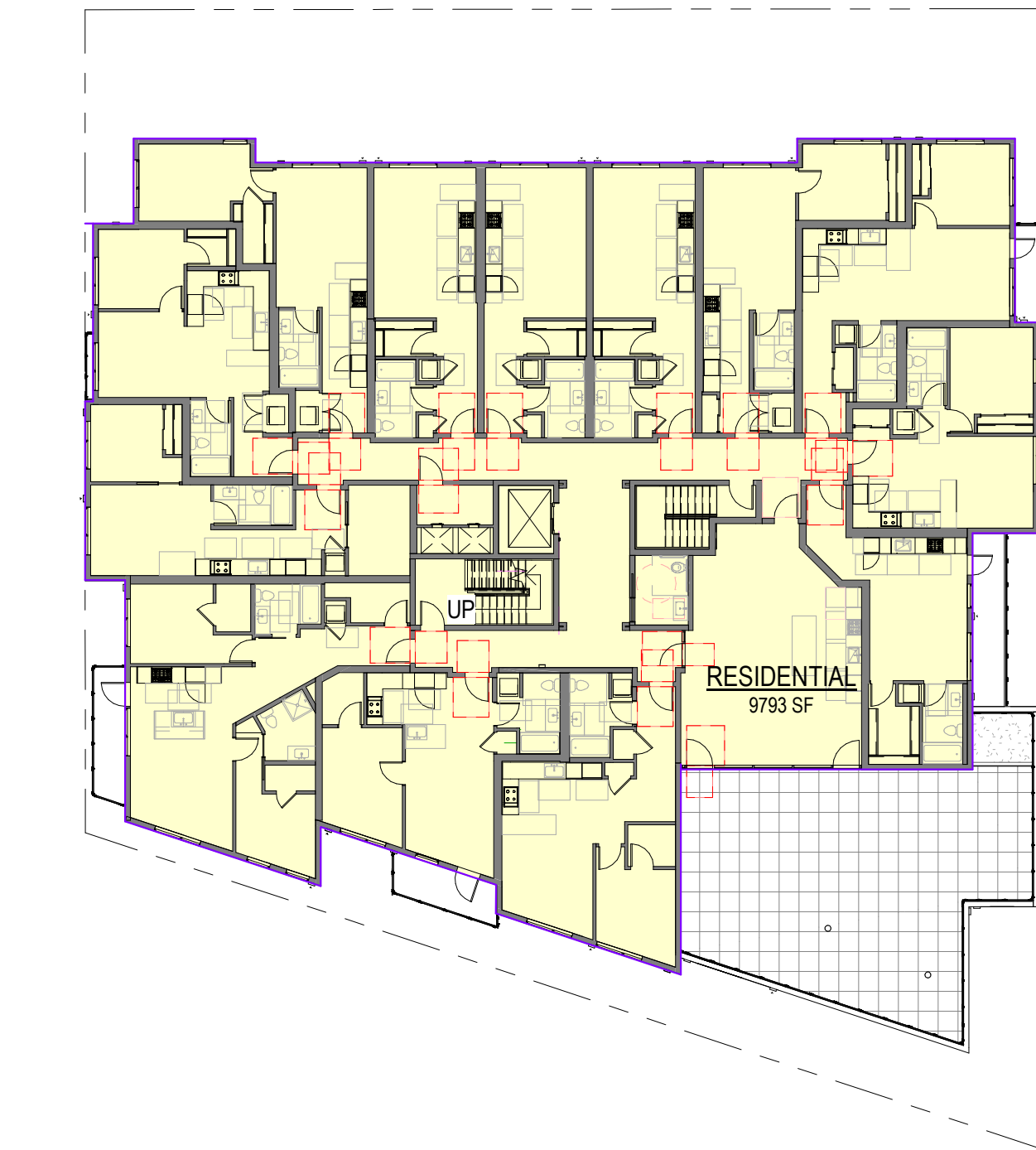
3 LEVEL 3 - Gross
1" = 20'-0"



4 LEVEL 4 - Gross
1" = 20'-0"



5 LEVEL 5 - Gross
1" = 20'-0"



6 LEVEL 6 - Gross
1" = 20'-0"

Area Schedule (Gross Building) 1	
Level	Area
RESIDENTIAL	
LEVEL 1	1924 SF
LEVEL 2	7843 SF
LEVEL 3	11082 SF
LEVEL 4	11081 SF
LEVEL 5	11081 SF
LEVEL 6	9793 SF
	52903 SF
RESIDENTIAL PARKING	
LEVEL 1	6447 SF
	6447 SF
RETAIL	
LEVEL 1	4541 SF
	4541 SF
Grand total	63791 SF

Area Schedule - Unit Matrix		
Level	Area	Area %
1 BDRM		
LEVEL 2	549	1.3
LEVEL 2	622	1.5
LEVEL 2	690	1.6
LEVEL 3	690	1.6
LEVEL 3	621	1.5
LEVEL 3	616	1.4
LEVEL 3	584	1.4
LEVEL 3	642	1.5
LEVEL 3	558	1.3
LEVEL 3	622	1.5
LEVEL 4	692	1.6
LEVEL 4	624	1.5
LEVEL 4	613	1.4
LEVEL 4	585	1.4
LEVEL 4	641	1.5
LEVEL 4	558	1.3
LEVEL 4	621	1.5
LEVEL 5	692	1.6
LEVEL 5	624	1.5
LEVEL 5	613	1.4
LEVEL 5	585	1.4
LEVEL 5	641	1.5
LEVEL 5	558	1.3
LEVEL 5	621	1.5
LEVEL 6	692	1.6
LEVEL 6	621	1.5
LEVEL 6	616	1.4
LEVEL 6	588	1.4
LEVEL 6	641	1.5
LEVEL 6	560	1.3
LEVEL 6	625	1.5
31	19205	45.1
1 BDRM + DEN		
LEVEL 2	746	1.8
LEVEL 2	632	1.5
LEVEL 3	723	1.7
LEVEL 3	736	1.7
LEVEL 3	634	1.5
LEVEL 4	723	1.7
LEVEL 4	736	1.7
LEVEL 4	634	1.5
LEVEL 5	723	1.7

Area Schedule - Unit Matrix		
Level	Area	Area %
LEVEL 5		
LEVEL 5	736	1.7
LEVEL 5	634	1.5
LEVEL 6	634	1.5
12	8292	19.5
2 BDRM		
LEVEL 2	989	2.3
LEVEL 2	919	2.2
LEVEL 3	1007	2.4
LEVEL 3	976	2.3
LEVEL 4	1007	2.4
LEVEL 4	974	2.3
LEVEL 5	1007	2.4
LEVEL 5	974	2.3
LEVEL 6	974	2.3
9	8827	20.7
STUDIO		
LEVEL 3	485	1.1
LEVEL 3	480	1.1
LEVEL 3	483	1.1
LEVEL 4	485	1.1
LEVEL 4	480	1.1
LEVEL 4	483	1.1
LEVEL 5	485	1.1
LEVEL 5	480	1.1
LEVEL 5	483	1.1
LEVEL 6	485	1.1
LEVEL 6	480	1.1
LEVEL 6	480	1.1
LEVEL 6	481	1.1
13	6270	14.7
Grand total:	42594	100.0
65		

PROJECT NAME
106 NW 36th St

PROJECT ADDRESS
106 NW 36th St.
Seattle, WA 98107

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KEY PLAN

2	01/21/22	MUP REV #2
1	08/06/21	MUP REV #1

No.	Date	Revision Description
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REVISIONS

DRAWING STATUS

MUP REV #2

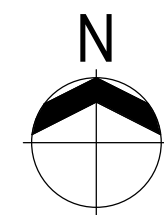
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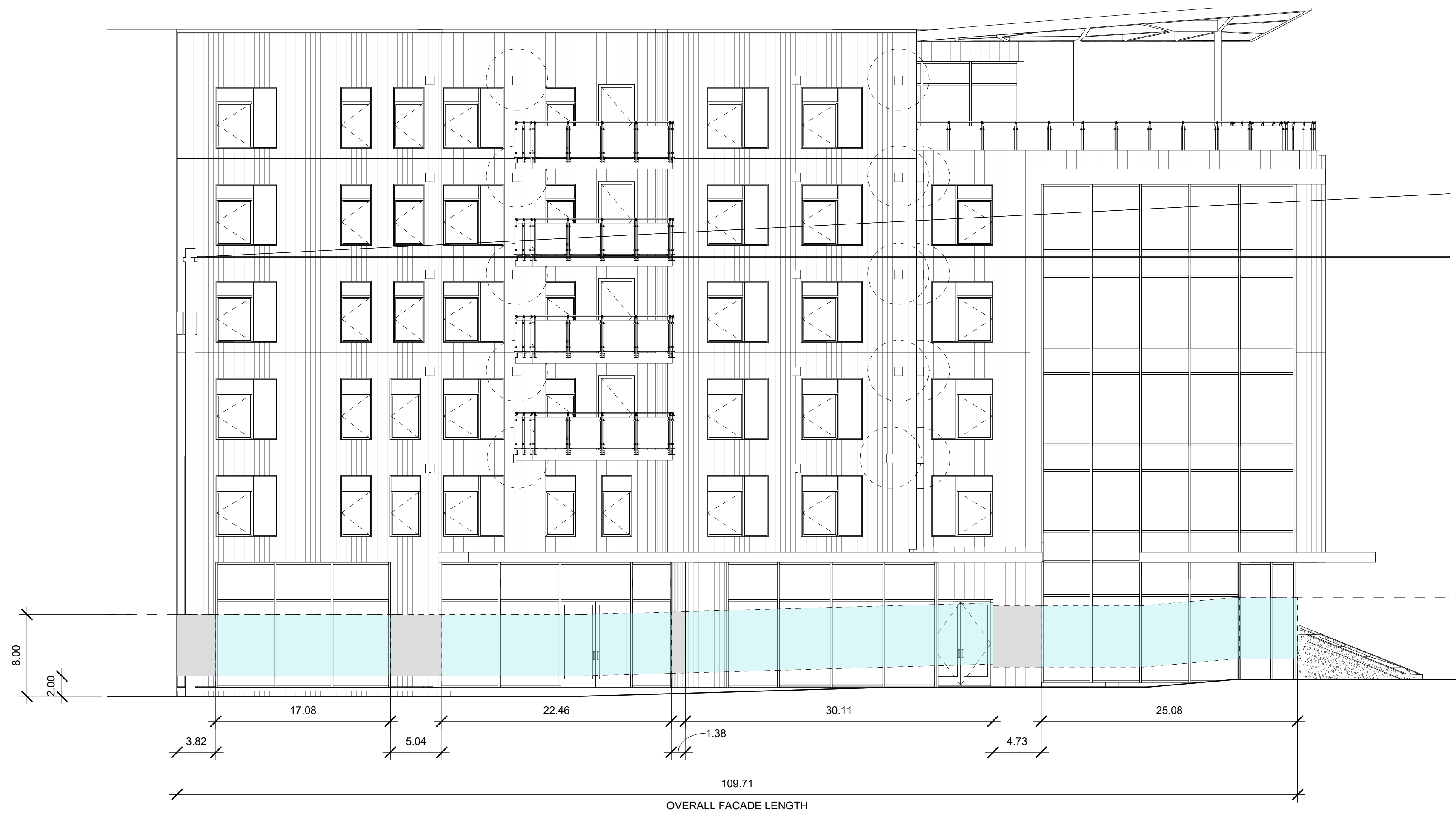
GROSS FLOOR AREA

DRAWN	CHECKED
Author	Checker
SCALE	DATE
1" = 20'-0"	01/21/22

PROJECT NO.
19-049

DRAWING NO.
REVISION NO.

-A009



② South Elevation - NW 36th st
1/8" = 1'-0"



① East Elevation - 1st Ave NW
1/8" = 1'-0"

Blank Facades (SMC 23.47A.008.A.2)

1. Blank facades segments of the street-facing facade between 2'-0" and 8'-0" above the sidewalk may not exceed 20'-0" in width, **COMPLIES**
2. The total of all blank facade segments may not exceed 40% of the width of the facade of the structure along the street, **COMPLIES**

NW 36th St: (Length of Blank Facades) / Total Facade Width
(3.82'+5.04'+1.38'+4.73') / 109.71'
= 14.97' / 109.71' = **13% < 40%, COMPLIES**

1st Ave NW: (Length of Blank Facades) / Total Facade Width
(4.12'+2.19'+1.12'+1'+0.33'+0.33'+0.33'+0.33'+12.94') / 113.1'
= 23.69' / 113.1' = **20% < 40%, COMPLIES**

Transparency (SMC 23.47A.008.B.2)

Min Required Transparency: 60% of Street-Facing Facade between 2 feet and 8 feet above the sidewalk shall be transparent.

NW 36th St: (Transparent Area) / (Area Between 2' & 8') = Transparency
568.5 SF / 658.28 SF = 86%, COMPLIES

1st Ave NW: (Transparent Area) / (Area Between 2' & 8') = Transparency
409.21 SF / 678.84 SF = 60%, COMPLIES

PROJECT NAME

106 NW 36th St

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106 NW 36th St.
Seattle, WA 98107

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REVISIONS		

DRAWING STATUS

MUP REV #2

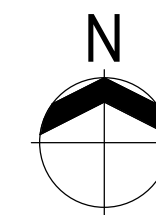
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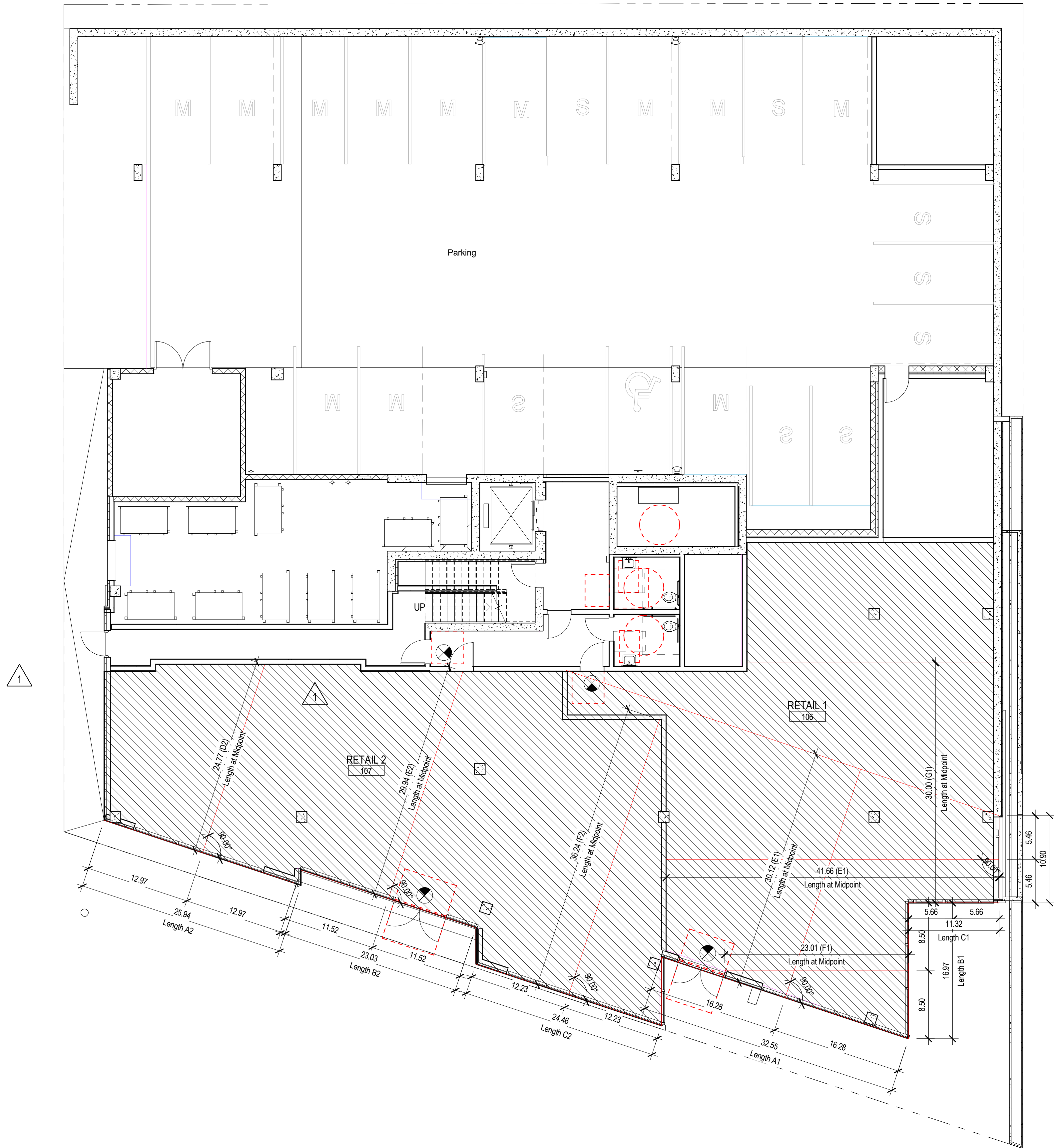
DRAWING TITLE

**CODE COMPLIANCE -
TRANSPARENCY & BLANK
FACADES**

DRAWN	Author	CHECKED	Checker
SCALE	1/8" = 1'-0"	DATE	01/21/22

PROJECT NO. 19-049

DRAWING NO. **-A010** REVISION NO.



① AVERAGE DEPTH DIAGRAM
1/8" = 1'-0"

LAND USE ANALYSIS

NON-RESIDENTIAL USE: AVERAGE DEPTH CALCULATION (SMC 23.47A.008.B.3)

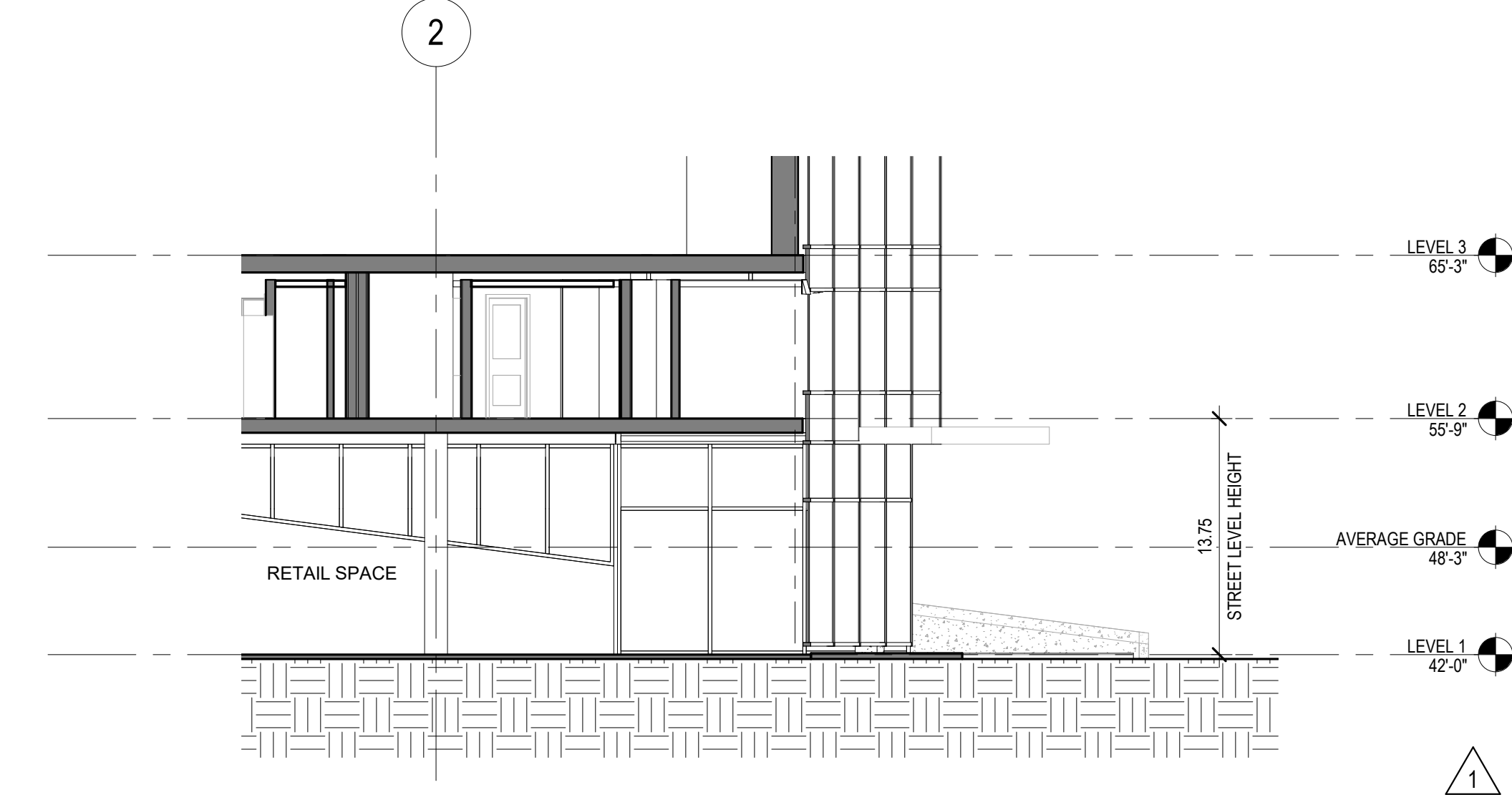
COMMERCIAL RETAIL SPACES:

RETAIL 1: (A1 X D1) + (B1X E1) + (C1XF1) + (D1XG1) / TOTAL FACADE LENGHT = AVERAGE DEPTH
(30.12'x32.55') + (23.01'x16.97') + (30'x11.32') + (41.66'x10.90') / (32.55'+16.97'+11.32'+10.90') = 980.40+390.47+339.6+454.09 / 71.74 = **30.17' > 30.00', COMPLIES**

RETAIL 2: (A2 X D2) + (B2X E2) + (C2XF2) / TOTAL FACADE LENGHT = AVERAGE DEPTH
(24.77'x25.94') + (29.94'x23.03') + (36.24'x24.46') / (25.94'+23.03'+24.46') = 642.53 + 689.51 + 886.43 / 73.43' = **30.21' > 30.00', COMPLIES**

STREET LEVEL FLOOR HEIGHT

COMMERCIAL RETAIL SPACES AT STREET LEVEL HAVE A FLOOR-TO-FLOOR HEIGHT OF 13 FEET, SEE 2/A011 FOR HEIGHT DIMENSION (SMC 23.47A.008.B.4)



② Section @ Retail
1/8" = 1'-0"

PROJECT NAME

106 NW 36th St

PROJECT ADDRESS

106 NW 36th St.
Seattle, WA 98107

CLIENT

Infinity Investment Group

KEY PLAN

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01/21/22

MUP REV #2

1

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MUP REV #1

No.

Date

Revision Description

REVISIONS

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MUP REV #2

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CODE COMPLIANCE - AVERAGE DEPTH ANALYSIS

DRAWN

Author

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SCALE

1/8" = 1'-0"

DATE

01/21/22

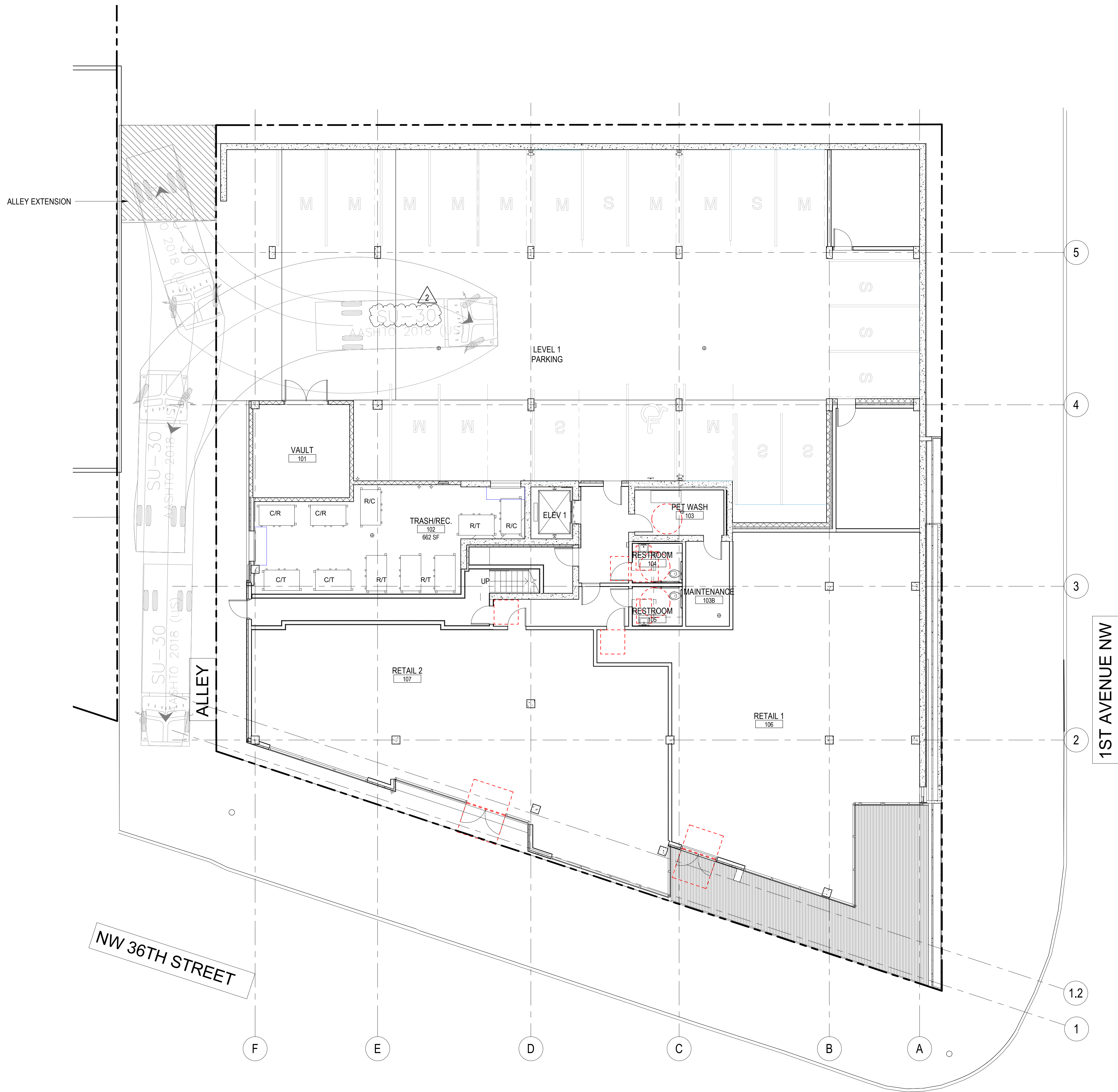
PROJECT NO.

19-049

DRAWING NO.

-A011

REVISION NO.



① ALLEY TURNAROUND - AUTOTURN DIAGRAM
1/8" = 1'-0"

PROJECT NAME

106 NW 36th St

PROJECT ADDRESS

106 NW 36th St.
Seattle, WA 98107

CLIENT

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2 01/21/22 MUP REV #2

No.	Date	Revision Description
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DRAWING STATUS

MUP REV #2

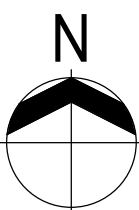
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DRAWING TITLE

AUTOTURN DIAGRAM

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SCALE	DATE	01/21/22	
1/8" = 1'-0"			

PROJECT NO. 19-049

DRAWING NO.	REVISION NO.
-------------	--------------

-A012

① SURVEY
1/16" = 1'-0"

106 NW 36th St

106 NW 36th St.
Seattle, WA 98107

Infinity Investment Group

KEY PLAN

No.	Date	Revision Description
REVISIONS		

MUP REV #2

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A compass rose with a circle divided into four quadrants by a vertical and horizontal line. The top quadrant is labeled 'N' for North. A shaded, wedge-shaped area is located between the North and East directions, starting from the North line and extending towards the East line.

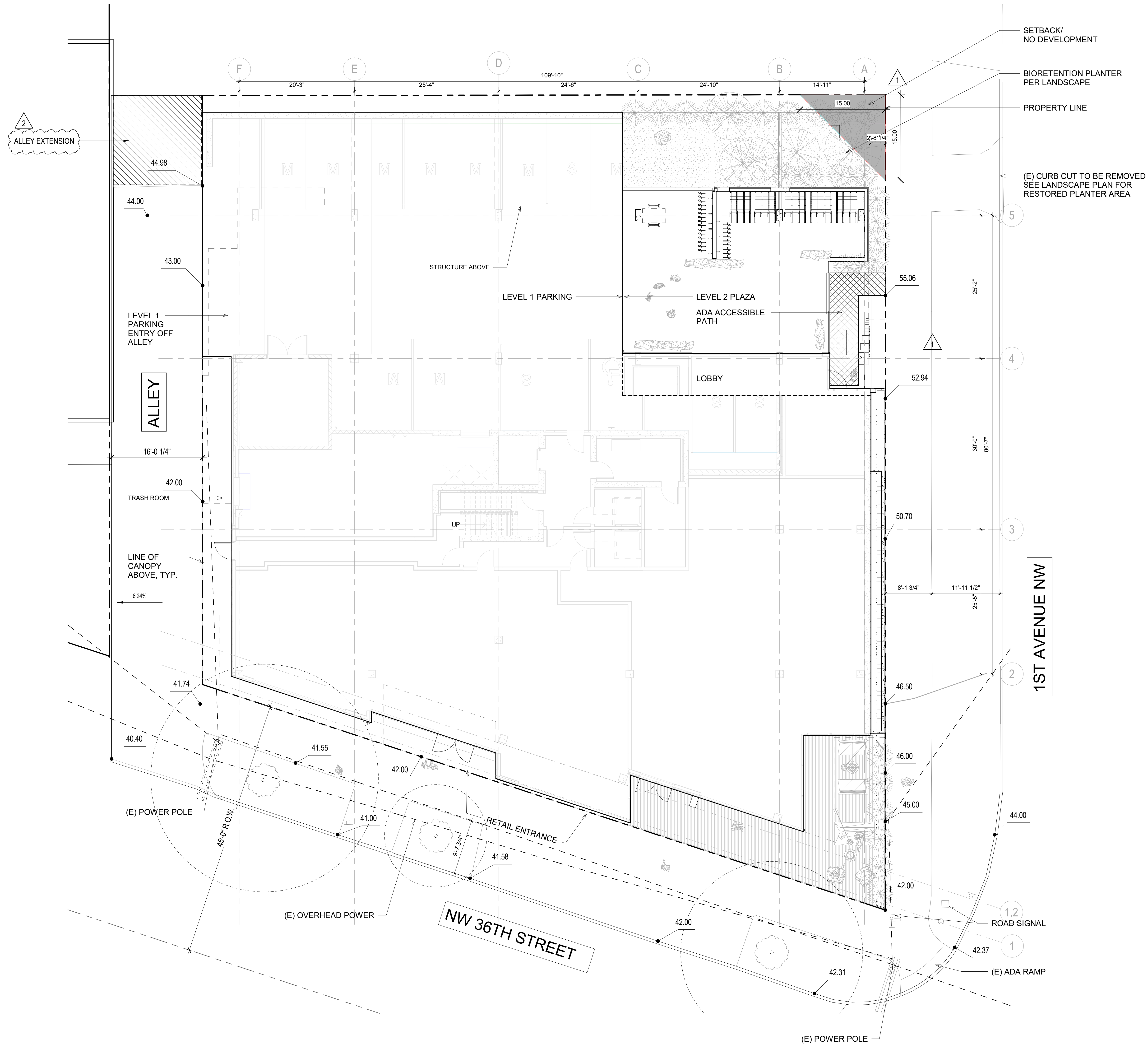
SURVEY

DRAWN Author	CHECKED Checker
SCALE 1/16" = 1'-0"	DATE 01/21/22

19-049

REVISION NO.

-A100



Site Plan L1
1/8" = 1'-0"

PROJECT NAME

106 NW 36th St

PROJECT ADDRESS

106 NW 36th St.
Seattle, WA 98107

CLIENT

Infinity Investment Group

KEY PLAN

2

01/21/22

MUP REV #2

1

08/06/21

MUP REV #1

No.

Date

Revision Description

REVISIONS

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SITE PLAN

DRAWN

Author

CHECKED

Checker

SCALE

1/8" = 1'-0"

DATE

01/21/22

PROJECT NO.

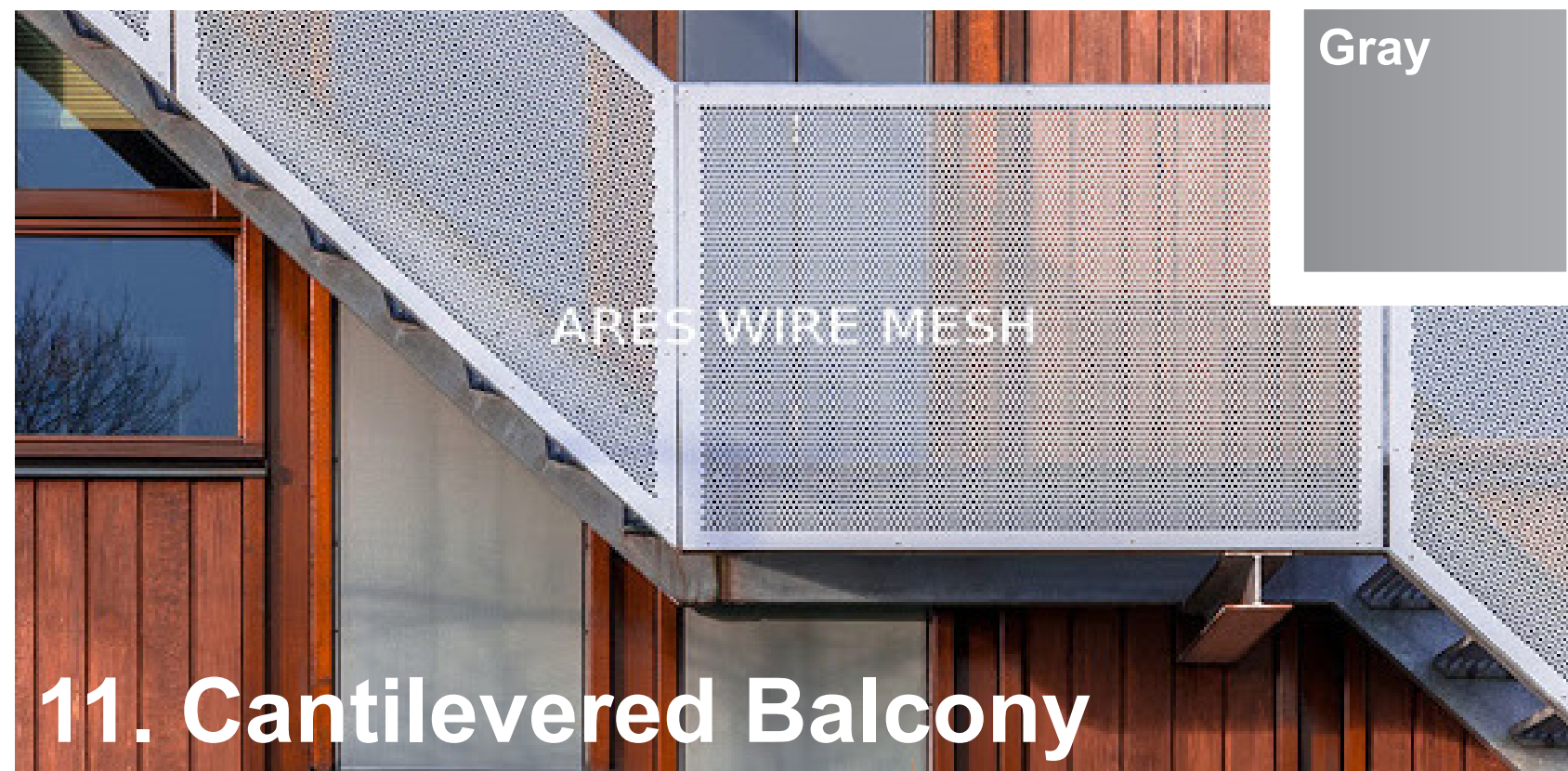
19-049

DRAWING NO.

-A101

REVISION NO.

MATERIALS



PROJECT NAME

106 NW 36th St

PROJECT ADDRESS

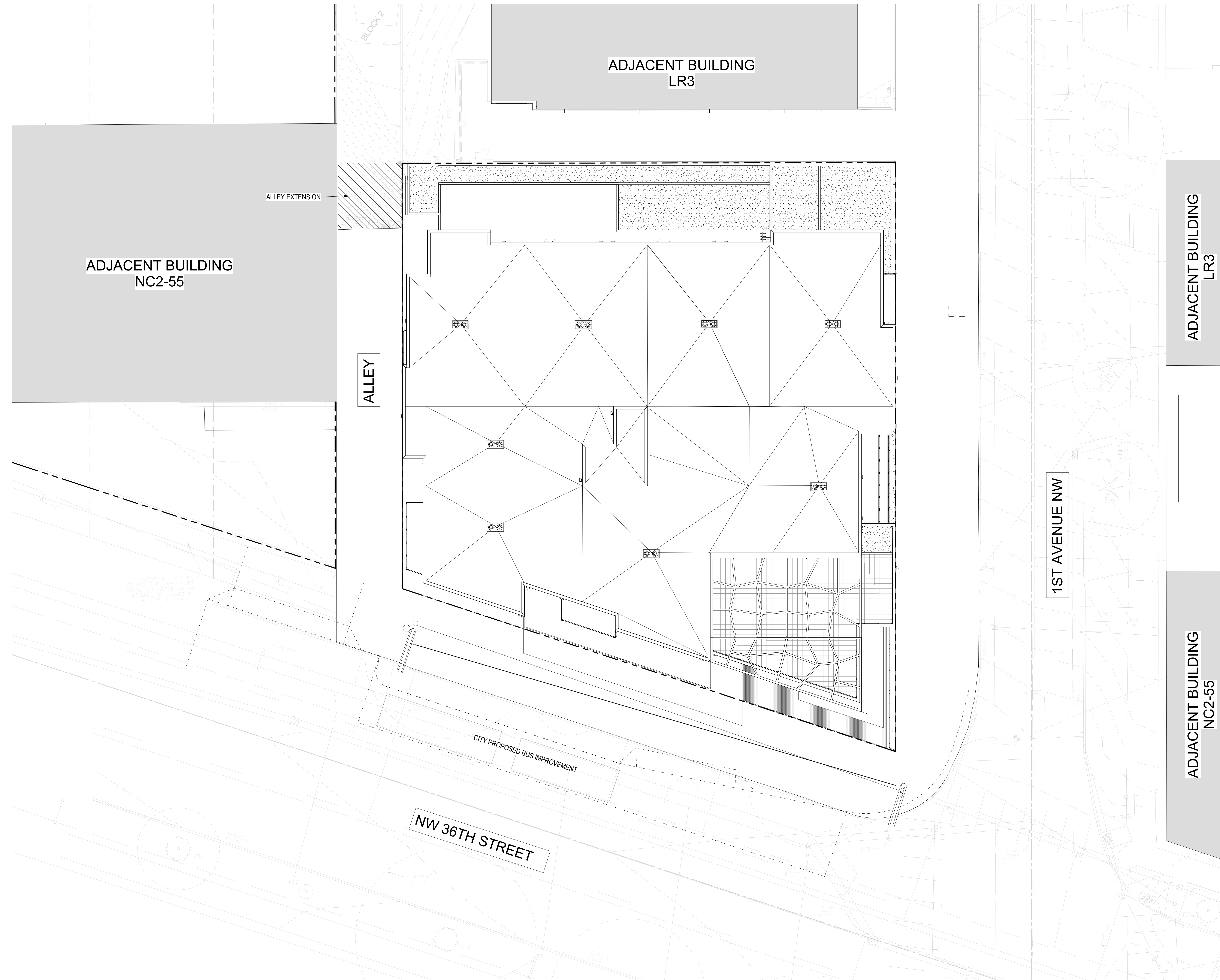
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Seattle, WA 98107

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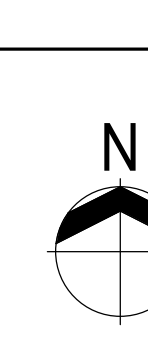
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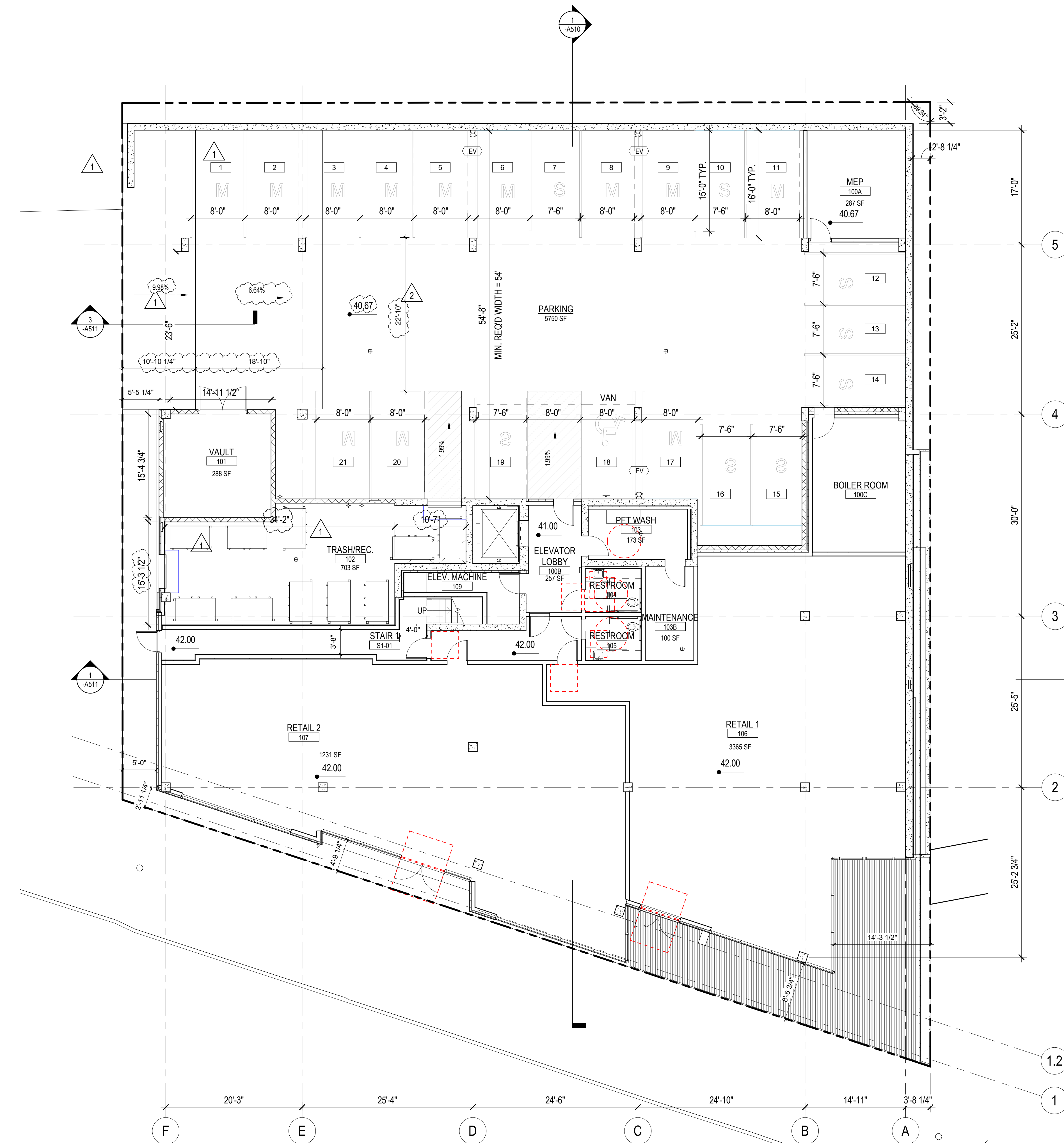
KEY PLAN

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STAMP	<div>N</div>	
DRAWING TITLE		
MATERIAL COLOR BOARD		
DRAWN	AUTHOR	CHECKED
SCALE	DATE	01/21/22
PROJECT NO. 19-049		
DRAWING NO. -A107		REVISION NO.



① Site Plan
1" = 10'-0"

PROJECT NAME		
106 NW 36th St		
PROJECT ADDRESS		
106 NW 36th St. Seattle, WA 98107		
CLIENT		
Infinity Investment Group		
KEY PLAN		
No.	Date	Revision Description
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STAMP		
DRAWING TITLE		
OVERALL SITE PLAN		
DRAWN Author		CHECKED Checker
SCALE 1" = 10'-0"		DATE 01/21/22
PROJECT NO. 19-049		
DRAWING NO. -A201		REVISION NO.



Parking Schedule		
Comments	Parking Type	Count
LEVEL 1		
(MEDIUM)	Parking Space 8' X 16' - 90 deg: ADA	1
(SMALL)	Parking Space: 7.5' x 15' - 90 deg	8
(MEDIUM)	Parking Space: 8' x 16' - 90 deg	12
Grand total: 21		21
MEDIUM SIZE PARKING TOTAL: 13		
13/21= 60%		
EV PARKING 20% = 5 REQ'D		
6 PROVIDED		

1 LEVEL 1 FLOOR PLAN
1/8" = 1'-0"

PROJECT NAME

106 NW 36th St

PROJECT ADDRESS

106 NW 36th St.
Seattle, WA 98107

CLIENT

Infinity Investment Group

KEY PLAN

2

01/21/22

MUP REV #2

1

08/06/21

MUP REV #1

No.

Date

Revision Description

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MUP REV #2

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DRAWING TITLE

LEVEL 1 - FLOOR PLAN

DRAWN

Author

CHECKED

Checker

SCALE

1/8" = 1'-0"

DATE

01/21/22

PROJECT NO.

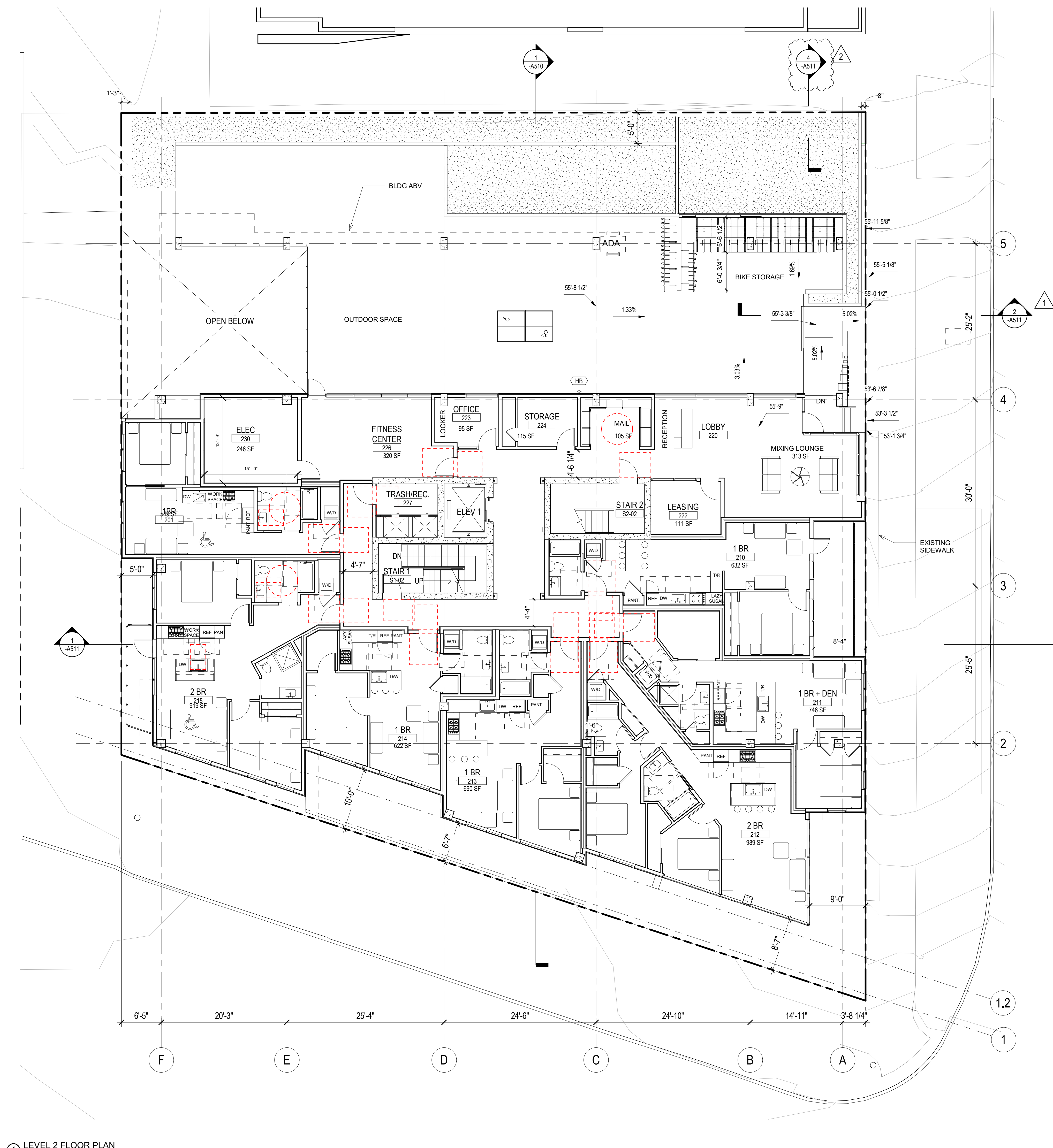
19-049

DRAWING NO.

19-049

REVISION NO.

-A211



1 LEVEL 2 FLOOR PLAN
1/8" = 1'-0"

PROJECT NAME

106 NW 36th St

PROJECT ADDRESS

106 NW 36th St.
Seattle, WA 98107

CLIENT

Infinity Investment Group

KEY PLAN

2	01/21/22	MUP REV #2
1	08/06/21	MUP REV #1

No.	Date	Revision Description
1	08/06/21	MUP REV #1

DRAWING STATUS

MUP REV #2

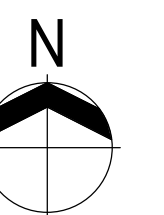
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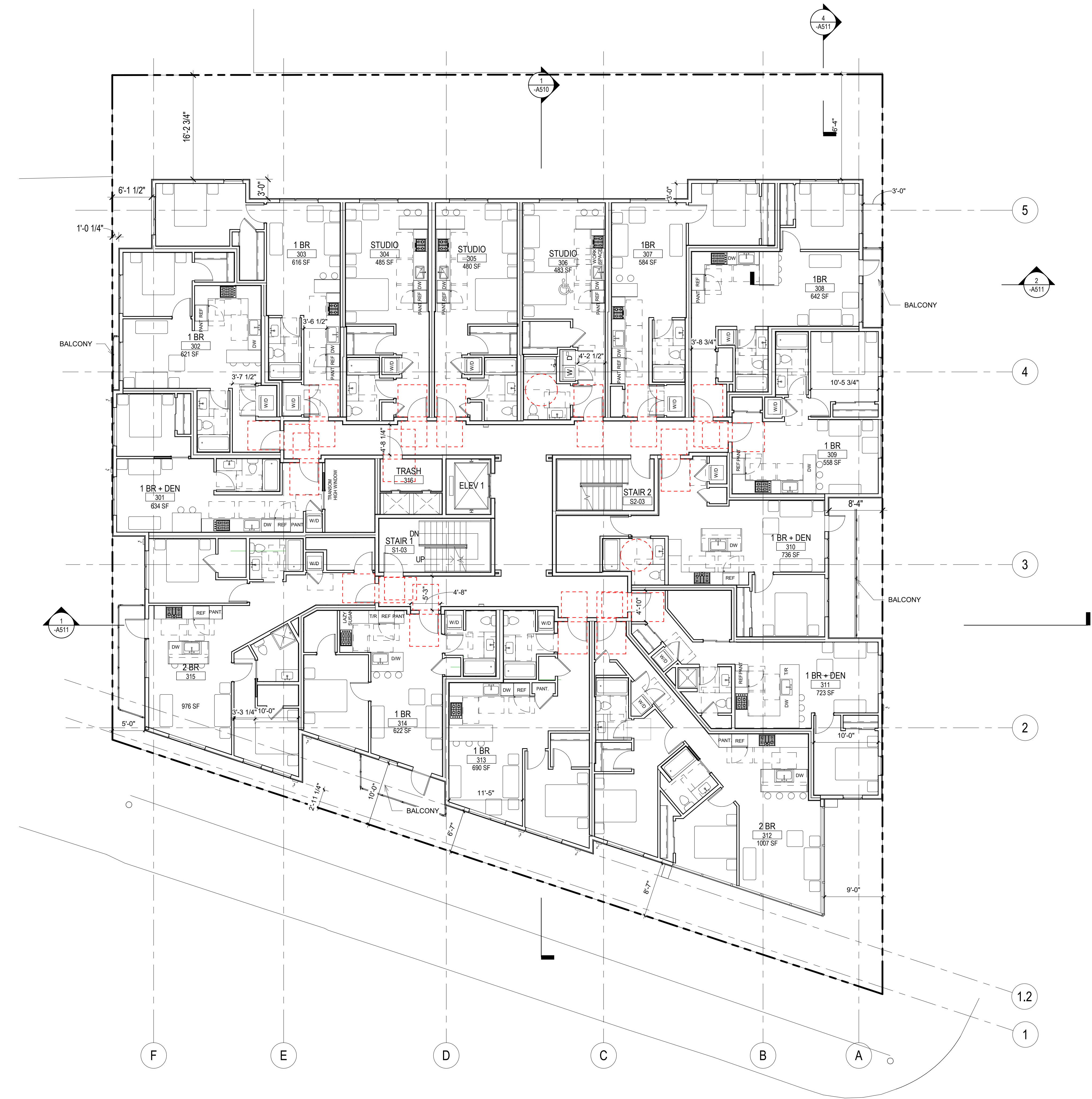
LEVEL 2 - FLOOR PLAN

DRAWN	Author	CHECKED	Checker
SCALE	1/8" = 1'-0"	DATE	01/21/22

PROJECT NO. 19-049

DRAWING NO. REVISION NO.

-A212



1 LEVEL 3 FLOOR PLAN
1/8" = 1'-0"

PROJECT NAME

106 NW 36th St

PROJECT ADDRESS

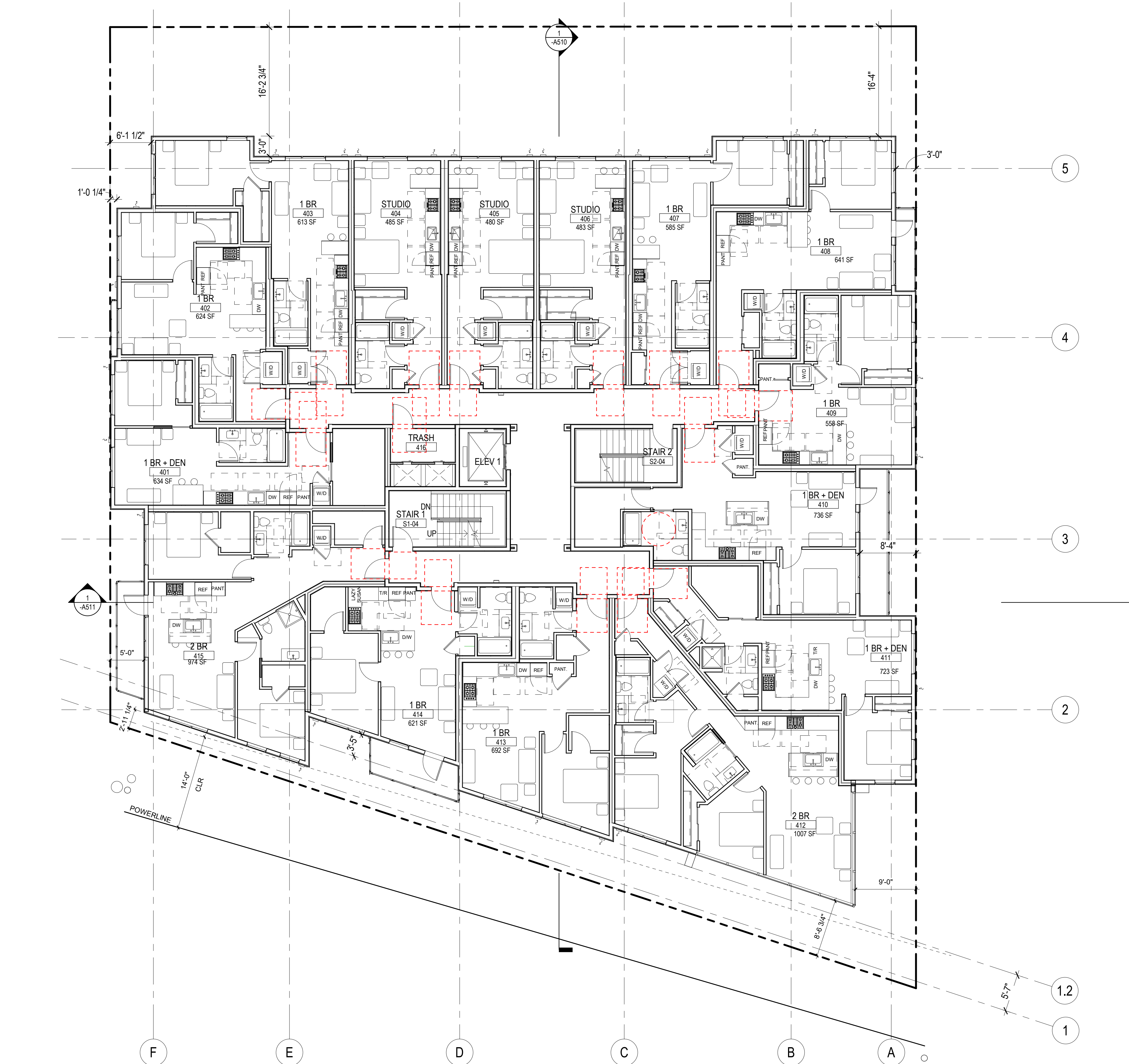
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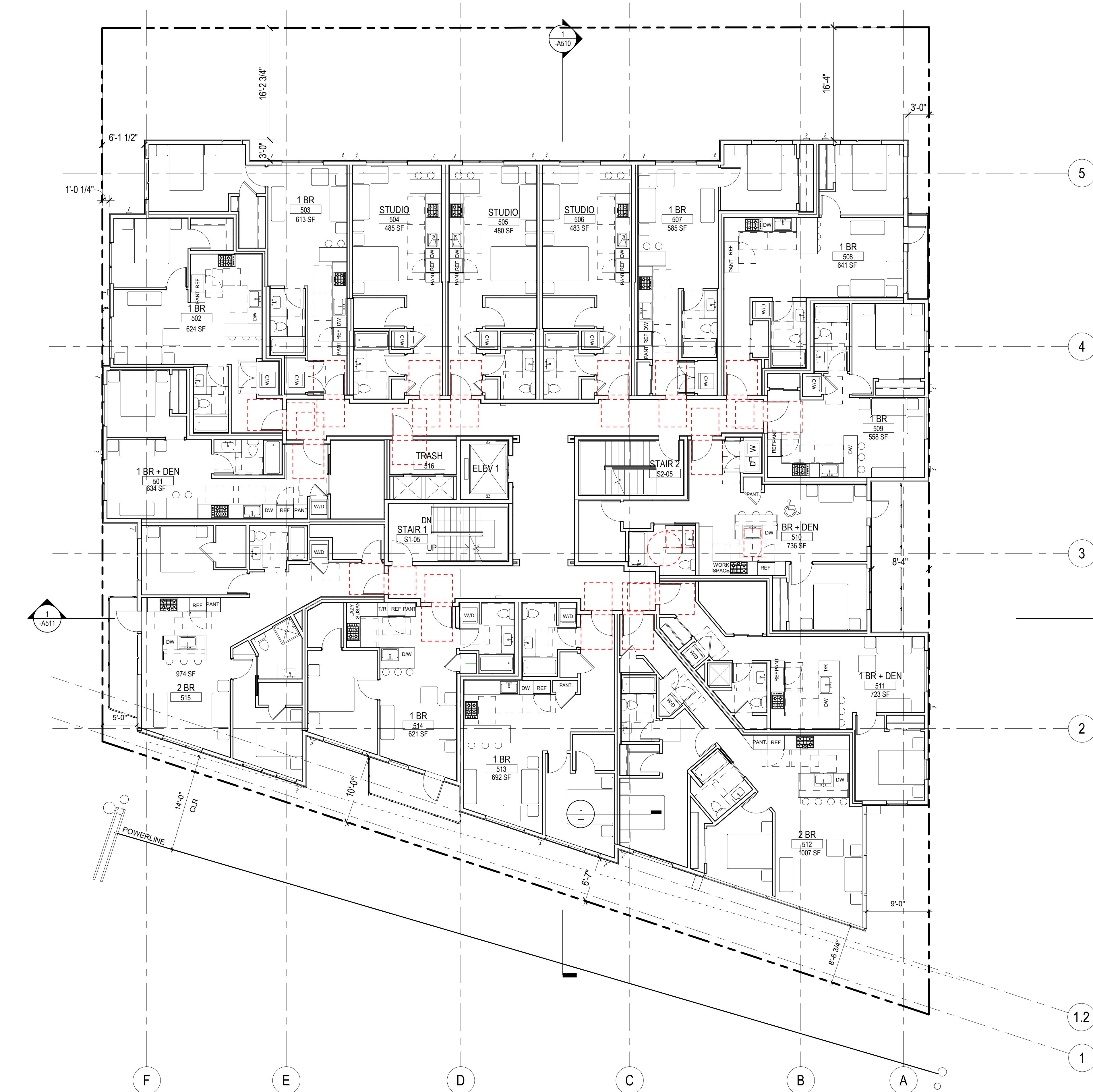
KEY PLAN

No.	Date	Revision Description
REVISIONS		
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STAMP		<div>N</div>
DRAWING TITLE		
LEVEL 3 - FLOOR PLAN		
DRAWN Author		CHECKED Checker
SCALE 1/8" = 1'-0"		DATE 01/21/22
PROJECT NO. 19-049		
DRAWING NO. -A213		REVISION NO.



LEVEL 4 FLOOR PLAN
1/8" = 1'-0"

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PROJECT ADDRESS 106 NW 36th St. Seattle, WA 98107	
CLIENT Infinity Investment Group	
KEY PLAN	
No. Date Revision Description	
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M Z A ARCHITECTURE	
STAMP	N
DRAWING TITLE	
LEVEL 4 - FLOOR PLAN	
DRAWN Author	CHECKED Checker
SCALE 1/8" = 1'-0"	DATE 01/21/22
PROJECT NO. 19-049	
DRAWING NO. -A214	REVISION NO.



① LEVEL 5 FLOOR PLAN
1/8" = 1'-0"

PROJECT NAME

106 NW 36th St


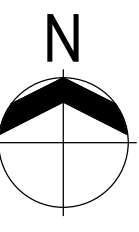
PROJECT ADDRESS

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REVISIONS		
DRAWING STATUS		
MUP REV #2		
Discrepancies must be reported to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.		
ALL DIMENSIONS ARE SHOWN IN IMPERIAL.		
CONSULTANT LOGO		
		
STAMP		
		
DRAWING TITLE		
LEVEL 5 - FLOOR PLAN		
DRAWN Author		CHECKED Checker
SCALE 1/8" = 1'-0"		DATE 01/21/22
PROJECT NO. 19-049		
DRAWING NO. -A215		REVISION NO.

REVISIONS

DRAWING STATUS

MUP REV #2

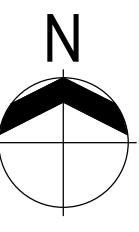
Discrepancies must be reported to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT LOGO



STAMP



DRAWING TITLE

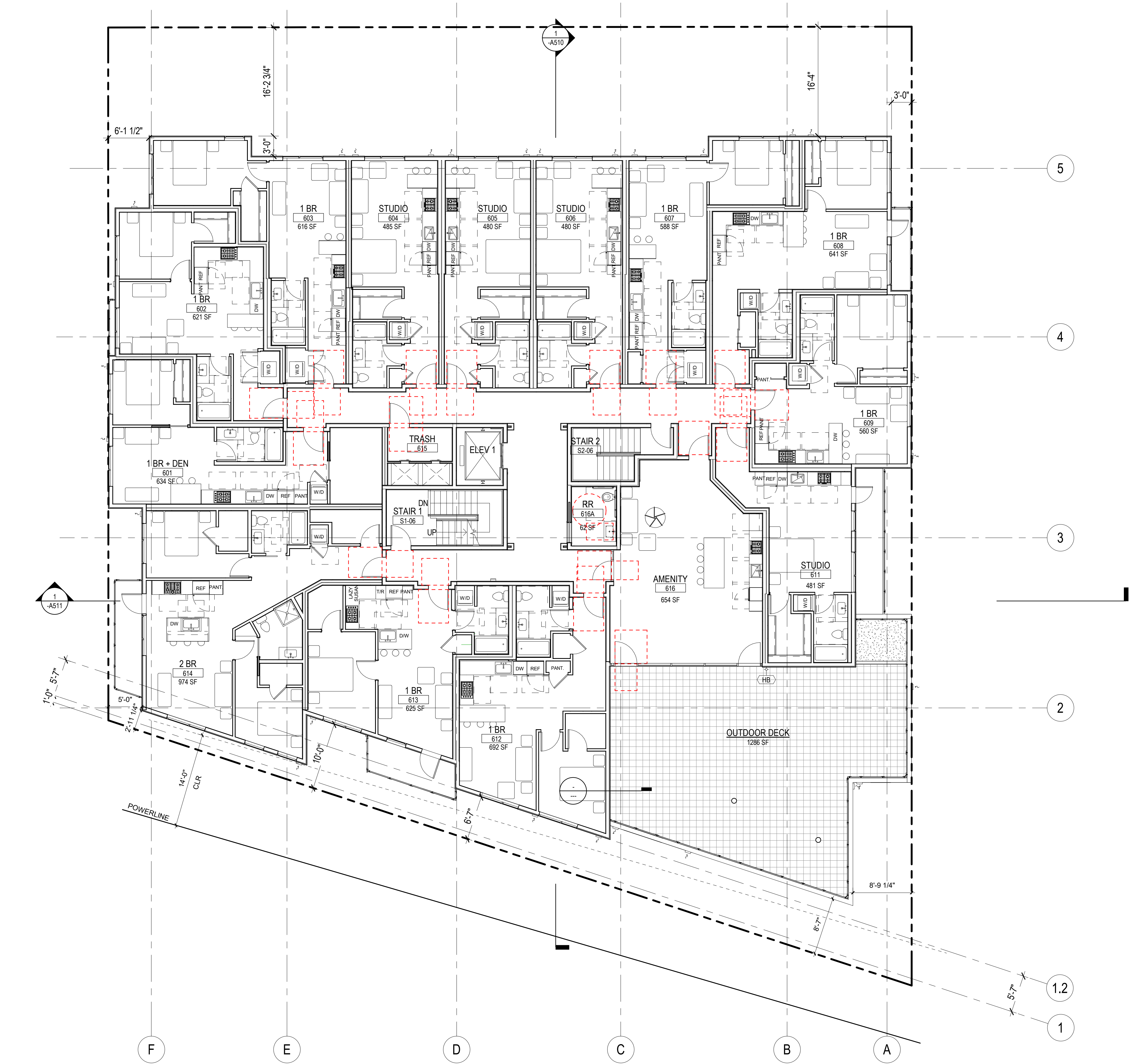
LEVEL 5 - FLOOR PLAN

DRAWN Author	CHECKED Checker
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SCALE 1/8" = 1'-0"	DATE 01/21/22
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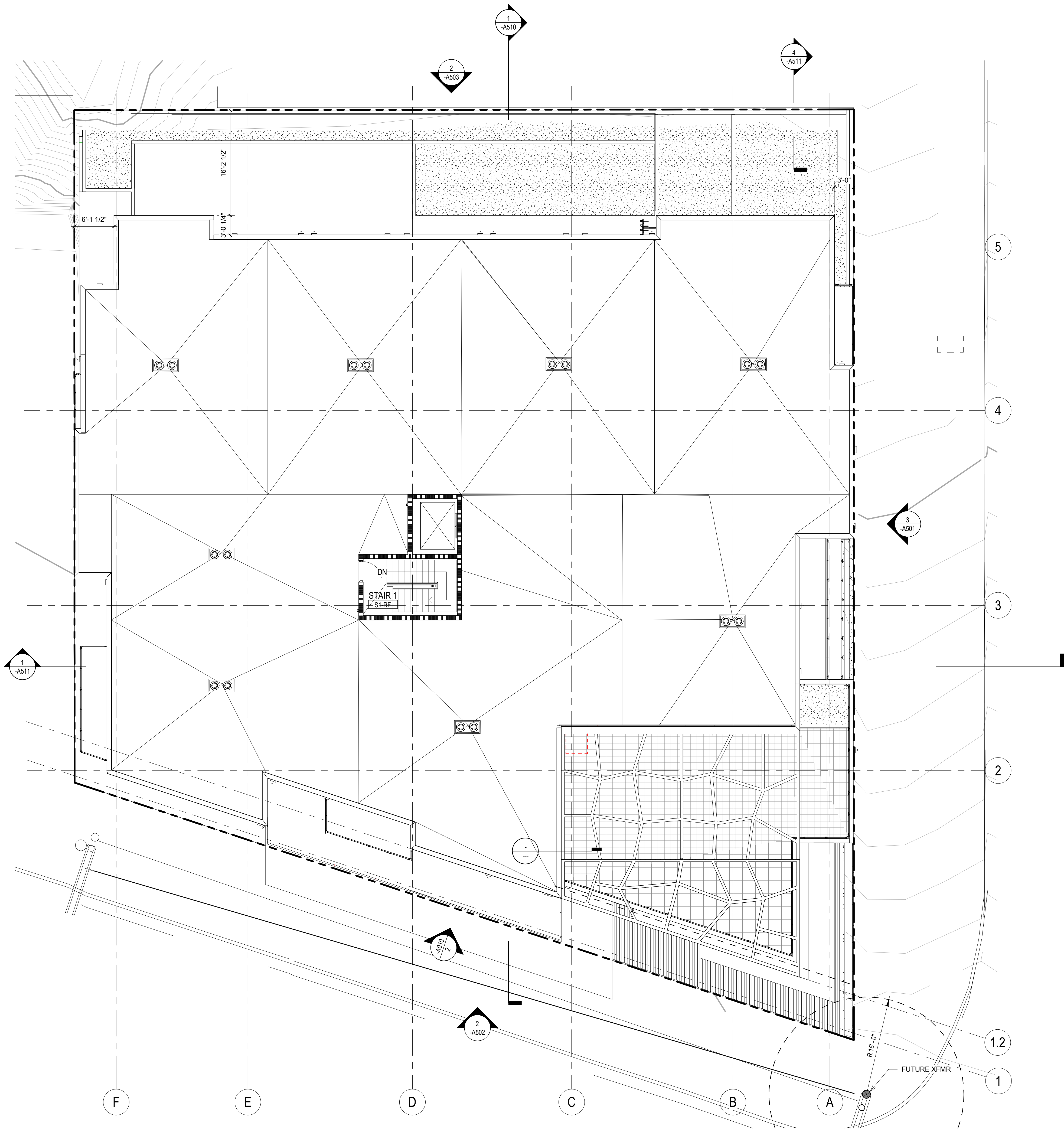
PROJECT NO.
19-049

DRAWING NO. -A215	REVISION NO.
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1 LEVEL 6 FLOOR PLAN
1/8" = 1'-0"

PROJECT NAME 106 NW 36th St	
PROJECT ADDRESS 106 NW 36th St. Seattle, WA 98107	
CLIENT Infinity Investment Group	
KEY PLAN	
No. Date Revision Description	
REVISIONS	
DRAWING STATUS	
MUP REV #2	
Discrepancies must be reported to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.	
ALL DIMENSIONS ARE SHOWN IN IMPERIAL.	
CONSULTANT LOGO	
M Z A ARCHITECTURE	
STAMP	N
DRAWING TITLE	
LEVEL 6 - FLOOR PLAN	
DRAWN Author	CHECKED Checker
SCALE 1/8" = 1'-0"	DATE 01/21/22
PROJECT NO. 19-049	
DRAWING NO. -A216	REVISION NO.



① Level Roof - Floor Plan
1/8" = 1'-0"

PROJECT NAME

106 NW 36th St

PROJECT ADDRESS

106 NW 36th St.
Seattle, WA 98107

CLIENT

Infinity Investment Group

KEY PLAN

No.	Date	Revision Description
REVISIONS		
DRAWING STATUS		
MUP REV #2		
Discrepancies must be reported to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.		
ALL DIMENSIONS ARE SHOWN IN IMPERIAL.		
CONSULTANT LOGO		
<div>M Z A</div> <div>ARCHITECTURE</div>		
STAMP	<div>N</div>	
DRAWING TITLE		
ROOF LEVEL - FLOOR PLAN		
DRAWN	Author	CHECKED Checker
SCALE	1/8" = 1'-0"	DATE 01/21/22
PROJECT NO. 19-049		
DRAWING NO. -A217		REVISION NO.



③ East Elevation
1/8" = 1'-0"

MATERIAL LEGEND

1. Classic waved corrugated metal panel rainscreen (light gray)
2. Standing seam metal panel rainscreen (dark gray)
3. Corten look metal panel rainscreen
4. Vinyl single casement window
5. Vinyl casement window with sidelight
6. Alum. Storefront
7. Alum window wall with spandrel glass
8. Custom fabricated metal framed canopy (black painted)
9. Clear glass canopy with black painted steel frame
10. Roof eave with sheet metal cladding (black painted)
11. Balcony deck with sheet metal cladding (black painted)
12. Cast in place concrete wall
13. Powder coated metal swing door (dark gray to match standing seam finish)
14. Clear glass swing doors
15. Powder coated alum and glass guardrail
16. Steel column (light gray)
17. Exposed concrete column
18. Precast decorative concrete panel
19. Powder coated alum fence

MISC. METALS - COLOR TO MATCH ADJACENT FACADE COLOR.

PROJECT NAME
106 NW 36th St

PROJECT ADDRESS
106 NW 36th St.
Seattle, WA 98107

CLIENT
Infinity Investment Group

KEY PLAN

No.	Date	Revision Description
REVISIONS		

DRAWING STATUS

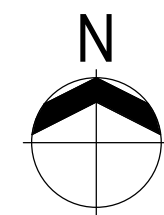
MUP REV #2

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ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT LOGO



STAMP



DRAWING TITLE

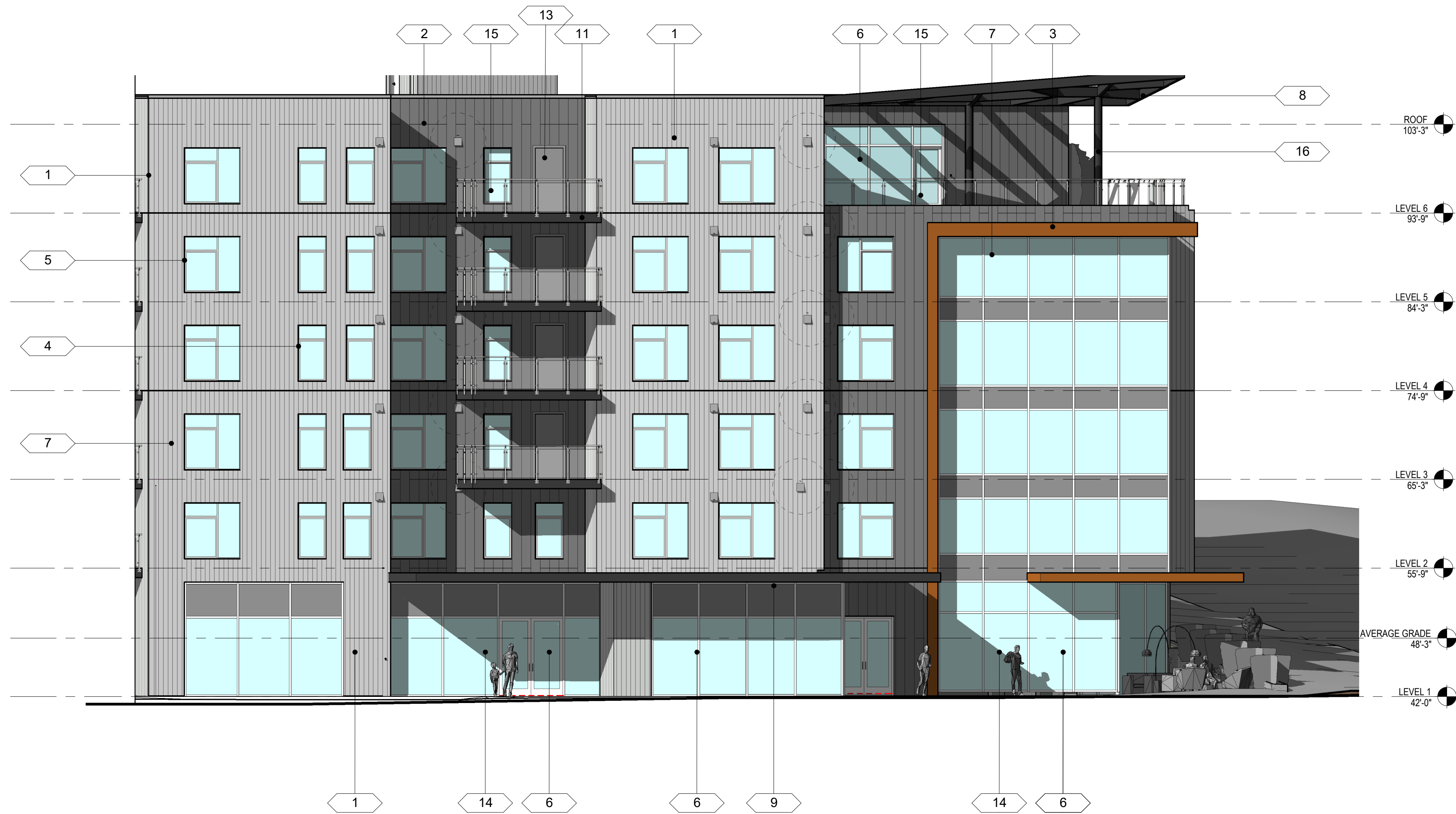
EAST ELEVATION

DRAWN Author	CHECKED Checker
SCALE As indicated	DATE 01/21/22

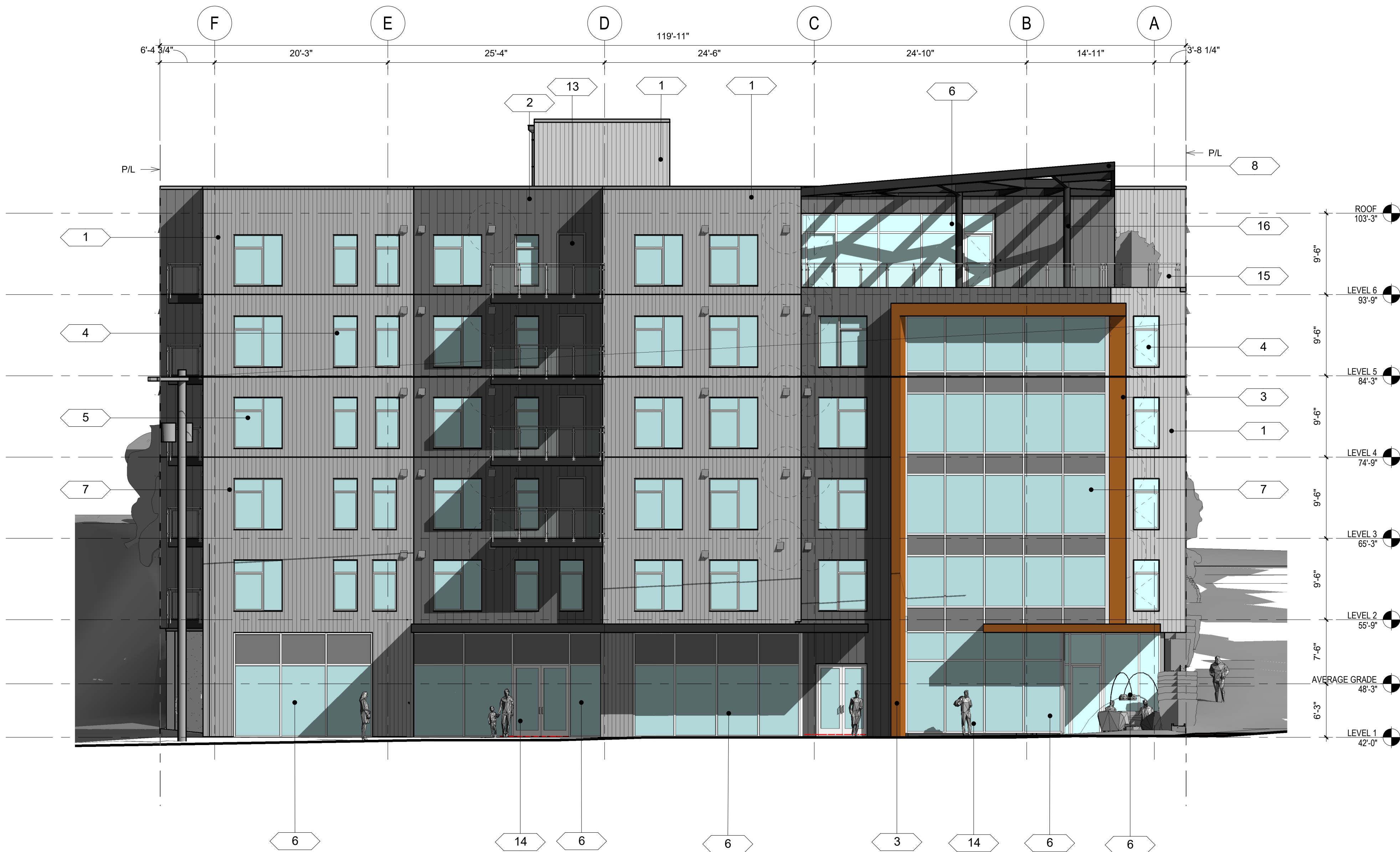
PROJECT NO.
19-049

DRAWING NO.
-A501

REVISION NO.



① South Elevation - Orthogonal View to Property Line
1/8" = 1'-0"



② South Elevation - Orthogonal View to Primary Gridlines
1/8" = 1'-0"

MATERIAL LEGEND

1. Classic waved corrugated metal panel rainscreen (light gray)
2. Standing seam metal panel rainscreen (dark gray)
3. Corten look metal panel rainscreen
4. Vinyl single casement window
5. Vinyl casement window with sidelight
6. Alum. Storefront
7. Alum window wall with spandrel glass
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16. Steel column (light gray)
17. Exposed concrete column
18. Precast decorative concrete panel
19. Powder coated alum fence

MISC. METALS - COLOR TO MATCH ADJACENT FACADE COLOR.

PROJECT NAME

106 NW 36th St

PROJECT ADDRESS

106 NW 36th St.
Seattle, WA 98107

CLIENT

Infinity Investment Group

KEY PLAN

No.	Date	Revision Description
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REVISIONS

DRAWING STATUS

MUP REV #2

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CONSULTANT LOGO

M Z A
ARCHITECTURE

STAMP

N

DRAWING TITLE

SOUTH ELEVATION

DRAWN

Author

CHECKED

Checker

SCALE

As indicated

DATE

01/21/22

PROJECT NO.

19-049

DRAWING NO.

-A502

REVISION NO.



1 West Elevation
1/8" = 1'-0"



2 North Elevation
1/8" = 1'-0"

MATERIAL LEGEND

1. Classic waved corrugated metal panel rainscreen (light gray)
2. Standing seam metal panel rainscreen (dark gray)
3. Corten look metal panel rainscreen
4. Vinyl single casement window
5. Vinyl casement window with sidelight
6. Alum. Storefront
7. Alum window wall with spandrel glass
8. Custom fabricated metal framed canopy (black painted)
9. Clear glass canopy with black painted steel frame
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12. Cast in place concrete wall
13. Powder coated metal swing door (dark gray to match standing seam finish)
14. Clear glass swing doors
15. Powder coated alum and glass guardrail
16. Steel column (light gray)
17. Exposed concrete column
18. Precast decorative concrete panel
19. Powder coated alum fence

MISC. METALS - COLOR TO MATCH ADJACENT FACADE COLOR.

PROJECT NAME

106 NW 36th St

PROJECT ADDRESS

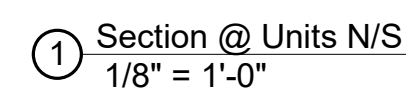
106 NW 36th St.
Seattle, WA 98107

CLIENT

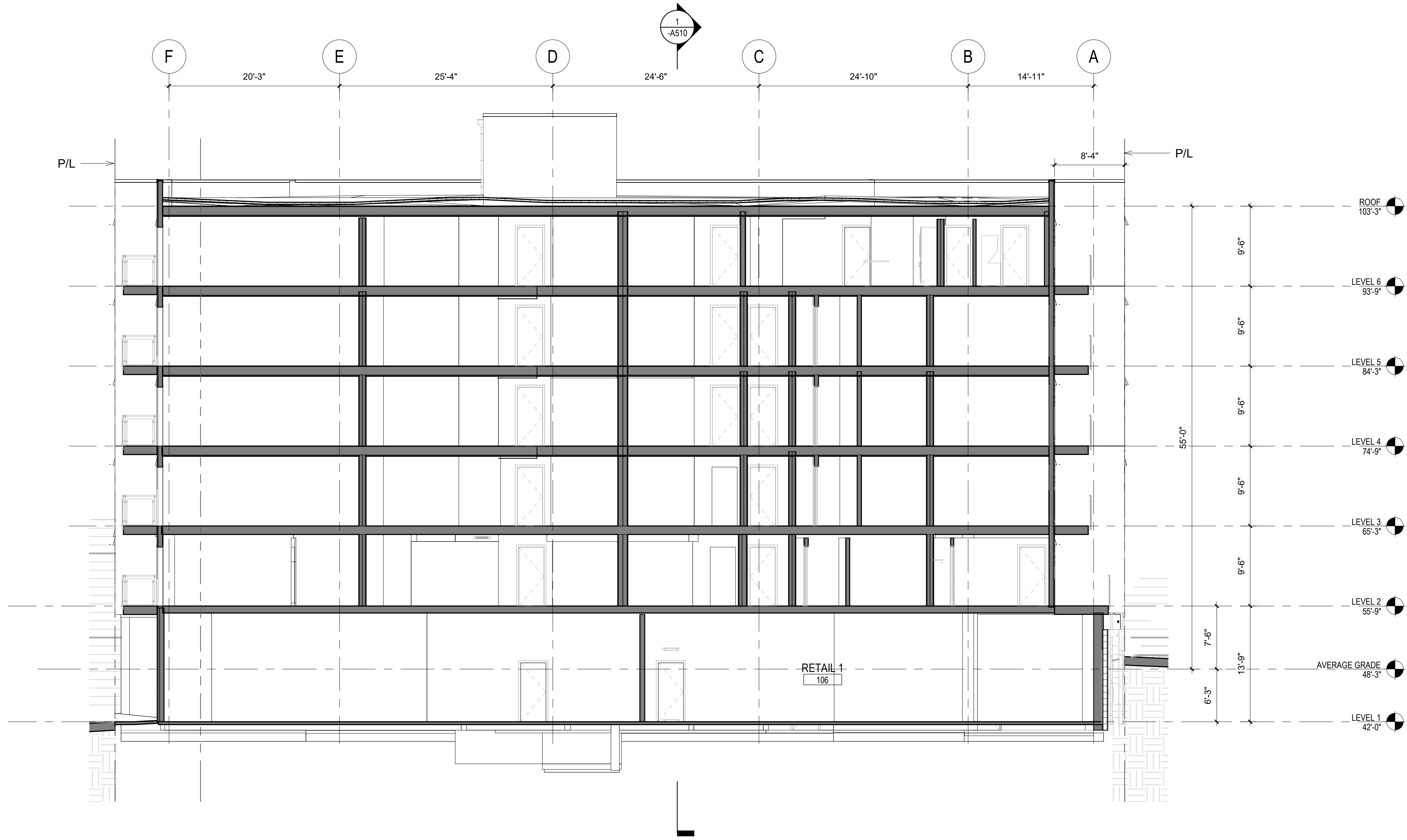
Infinity Investment Group

KEY PLAN

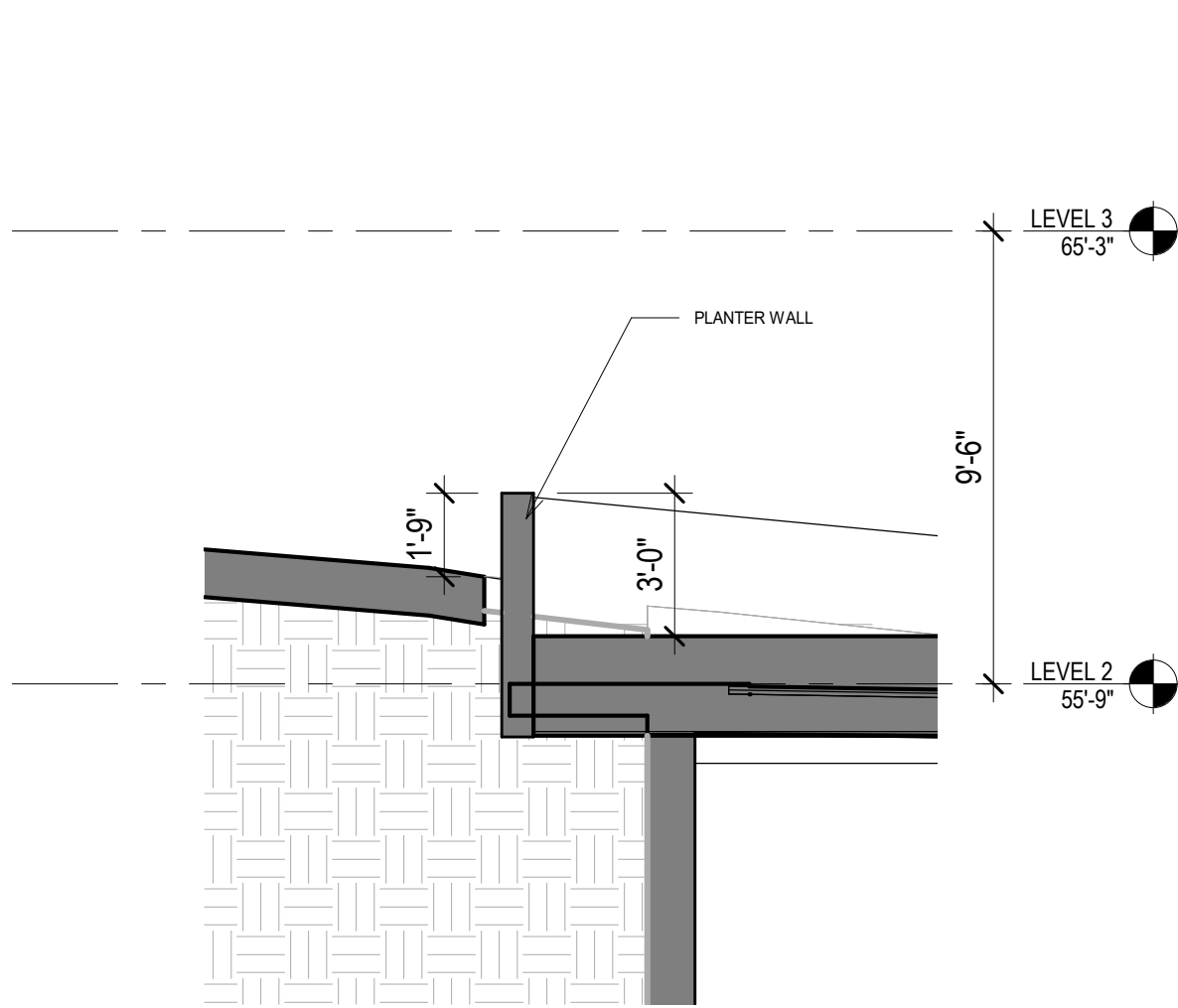
No.	Date	Revision Description
REVISIONS		
DRAWING STATUS		
MUP REV #2		
Discrepancies must be reported to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.		
ALL DIMENSIONS ARE SHOWN IN IMPERIAL.		
CONSULTANT LOGO		
<div>M Z A</div> <div>ARCHITECTURE</div>		
STAMP	<div>N</div>	
DRAWING TITLE		
WEST & NORTH ELEVATION		
DRAWN	Author	CHECKED Checker
SCALE	As indicated	DATE 01/21/22
PROJECT NO. 19-049		
DRAWING NO. -A503		REVISION NO.



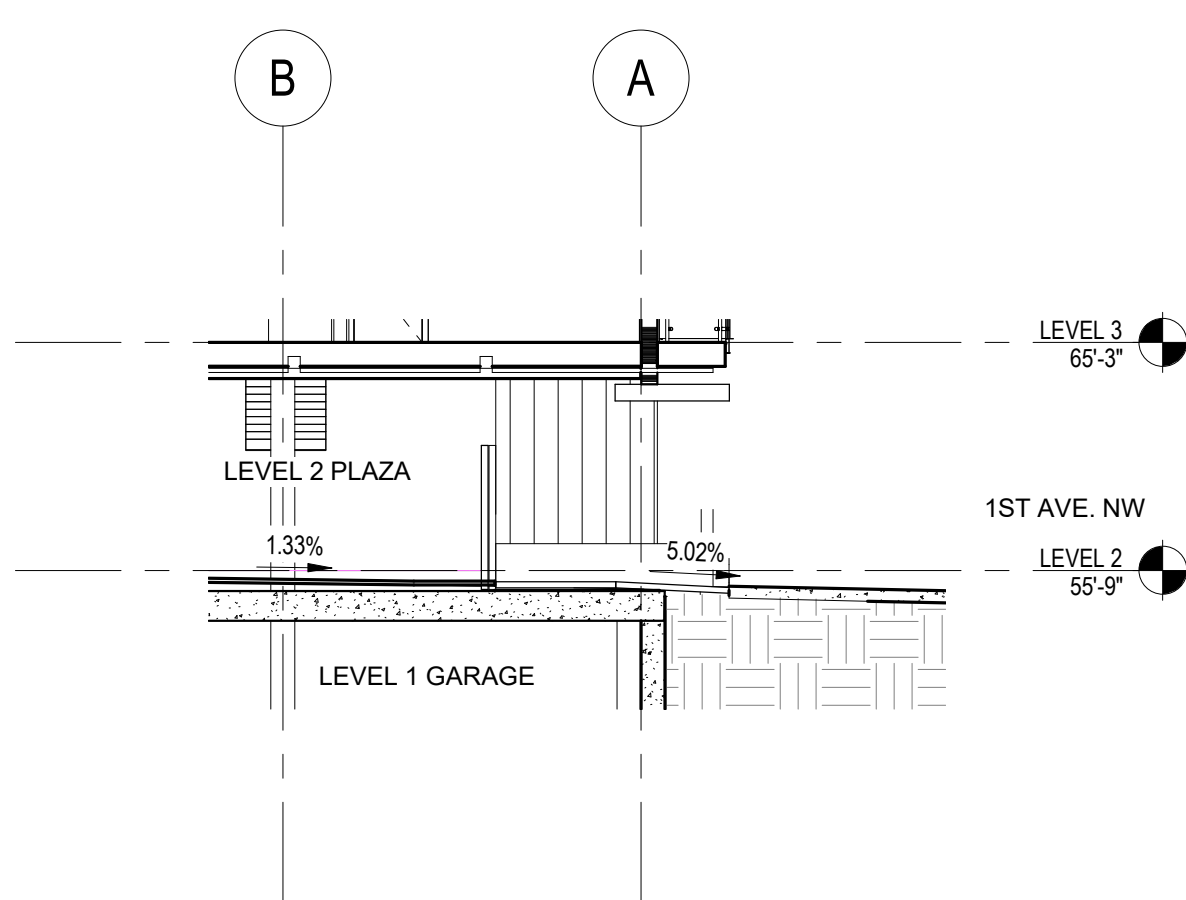
-A510



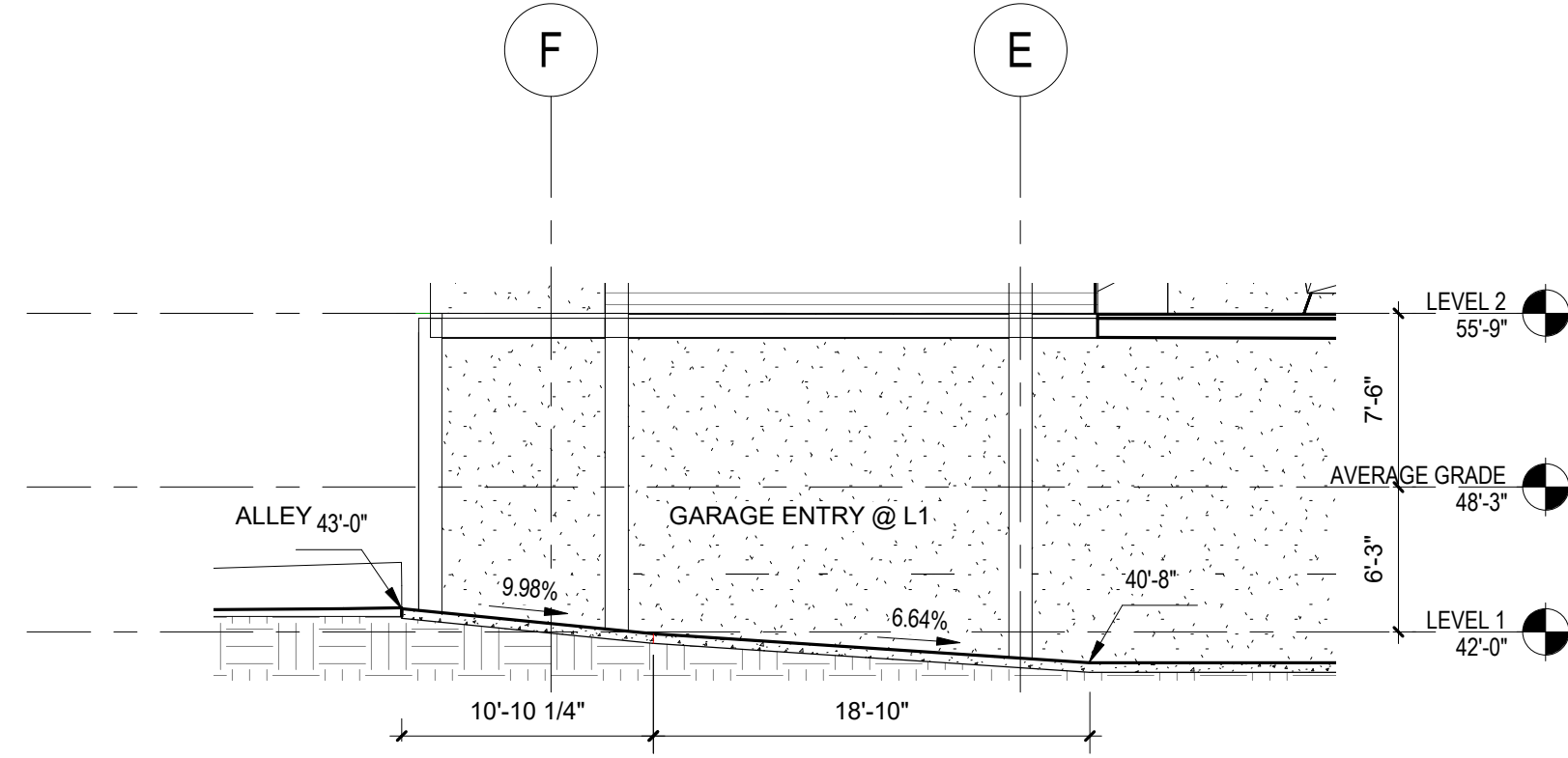
① Section @ Core Area E/W
1/8" = 1'-0"



④ SETBACK N/S SECTION
1/4" = 1'-0"



② DRIVEWAY AT L2 PLAZA
1/8" = 1'-0"



③ GARAGE ENTRY AT L1 - SECTION
1/8" = 1'-0"

PROJECT NAME

106 NW 36th St

PROJECT ADDRESS

106 NW 36th St.
Seattle, WA 98107

CLIENT

Infinity Investment Group

KEY PLAN

2	01/21/22	MUP REV #2
1	08/06/21	MUP REV #1

No.	Date	Revision Description
1	08/06/21	MUP REV #1

REVISIONS

DRAWING STATUS

MUP REV #2

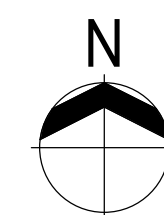
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ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT LOGO



STAMP



DRAWING TITLE

BUILDING SECTIONS

DRAWN	Author	CHECKED	Checker
SCALE	As indicated	DATE	01/21/22

PROJECT NO. 19-049

DRAWING NO. REVISION NO.

-A511

60% Complete Street Improvement Plan

- 1.) BOOK 391 OF SURVEYS, PAGES 241-246 BY EMERALD LAND SURVEYING
- 2.) BOOK 313 OF SURVEYS, PAGES 47- 52 BY GOLDSMITH
- 3.) DENNY & HOLT'S ADDITION TO THE CITY OF SEATTLE, VOLUME 2 OF PLATS, PAGE 136

1.) CITY OF SEATTLE QUARTER SECTIONS FOR SE ¼ 13, T25N, R3E. VERSIONS PLOTTED FEB 15, 2006 AND THE OLDER HAND DRAFTED VERSION BEARING THE "NOTE 1-1-93, NO LONGER UPDATED" BOTH SHOW THE WIDTH OF NW 39th STREET TO THE SOUTH OF THE MONUMENTED LINE BETWEEN LEARY WAY NW AND GREENWOOD AVENUE NORTH TO BE 30'. THE VERSION DATED 05/24/2019 SHOWS THE WIDTH BETWEEN 1st AVENUE NW AND 2nd AVENUE NW TO BE 30' BUT IT DOES SHOW A VARIABLE WIDTH RIGHT OF WAY FURTHER TO THE EAST.

2.) CITY OF SEATTLE FIELD BOOK 2622, PAGE 18 SHOWS THE DISTANCES ALONG THE CENTERLINE OF 1st AVE NW BETWEEN THE MONUMENTED LINE IN NW 39th STREET TO THE SOUTH MARGIN OF THIS RIGHT OF WAY TO BE 30.83' AND PAGE 18 OF THIS FIELD BOOK SHOWS THE DISTANCE ALONG THE CENTERLINE OF 2nd AVE NW TO THE SOUTH MARGIN OF THIS RIGHT OF WAY TO BE 29.35'. THE OLDEST AND THE NEWEST CITY QUARTER SECTION MAPS NOTED ABOVE BOTH REFERENCE THIS FIELD BOOK.

3.) CITY OF SEATTLE FIELD BOOK 2269 1/2 PAGE 37 CONFIRMS THAT THE MONUMENT SET AT N 36TH STREET AND 2nd AVENUE NW WAS SET ALONG THE SEMI-TANGENT OF A 250' RADIUS CURVE AS N 36TH STREET CURVES TO THE NORTHWEST AND BECOMES LEARY AVENUE NW. THE LENGTH OF THIS RADIUS IS ALSO NOTED ON THE OLDEST OF THE ABOVE NOTED CITY QUARTER SECTION MAPS.

ORIGINAL BENCHMARK:
OWNER: CITY OF SEATTLE
IDENTIFIER: CITY OF SEATTLE POINT ID NO. 3773-3401
DESCRIPTION: TOP OF 2" DIAMETER BRASS CAP STAMPED "CITY OF SEATTLE SURVEY 3773 3401"
LOCATION: 1' NORTH OF THE EAST CONC RAIL OF THE FREMONT BRIDGE, SOUTHEASTERLY OF THE INTERSECTION OF N 34TH ST AND FREMONT AVE N. (NOT SHOWN HEREON)
ELEV. = 55.574

TBM "A"
TOP OF SW BASE BOLT WITH CHISELED "X" ON TRAFFIC SIGNAL
HANGER POLE WITH CROSSWALK SIGNAL IN THE NORTHWEST
QUADRANT OF THE INTERSECTION OF NW 36TH ST AND 1ST AVE NW.
ELEV. = 44.02'

TBM "B"
TOP OF CHISELED "X" ON THE NORTH RIM OF WATER MANHOLE AT
NORTHEAST CORNER SUBJECT SITE IN DRIVEWAY FOR BUILDING "N"
ELEV. = 58.73

	CATCH BASIN
	CATCH BASIN
	INLET
	SANITARY SEWER MANHOLE
	GATE VALVE
	FIRE HYDRANT
	WATER METER
	WATER MANHOLE
	SIGNAL CONTROLLER CABINET
	JUNCTION BOX
	POWER METER
	LUMINARY LIGHT
	POWER POLE WITH STREET LIGHT
	UTILITY POLE
	POWER POLE
	GUY ANCHOR
	SIGNAL PEDESTAL
	PEDESTRIAN PUSH BUTTON PEDESTAL
	VEHICLE SIGNAL HEAD WITH BACK PLATE
	BOLLARD
	NATURAL GAS METER
	NATURAL GAS VALVE
	ROCKERY
	SIGN
	ADA RAMP
	SURFACE ELEVATION
	DECIDUOUS TREE
	DECIDUOUS TREE
	MAPLE
	DRIPLINE
	SURVEY BENCHMARK
	SURVEY MONUMENT
	IN CASE
CLF	CHAINLINK FENCE
PA	PLANTER AREA
DW	DRIVEWAY
CONC	CONCRETE

1. APPLICATION FOR NEW METERED WATER SERVICE AND ALL FEES PAID IS REQUIRED 60 TO 90 DAYS BEFORE SERVICE WILL BE AVAILABLE. OWNER WILL NEED WATER AVAILABILITY CERTIFICATE AND LEGAL DESCRIPTION OF PROPERTY WHEN MAKING APPLICATION.
2. ALL WATER SERVICES PIPING ON PROPERTY MUST BE INSPECTED PRIOR TO BACKFILLING TRENCH.
3. FOR ALL WATER SERVICE INFORMATION AND INSPECTION, PHONE (206) 684-5800.

ALL UTILITY: BASE INFORMATION PER SITE SURVEYING
DATED 5/22/20



LOTS 8, 9, 10 AND 11, BLOCK 2, DENNY & HOYT'S ADDITION TO THE CITY OF SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 2 OF PLATS, PAGE 136, IN KING COUNTY, WASHINGTON;

EXCEPT THAT PORTION THEREOF CONDEMNED FOR LEARY AVENUE (NOW NORTHWEST 36TH STREET)
IN KING COUNTY SUPERIOR COURT CAUSE NO. 69865 UNDER ORDINANCE NO. 21303 OF THE CITY OF
SEATTLE.

SITUATE IN THE CITY OF SEATTLE, COUNTY OF KING, STATE OF WASHINGTON

NAD 2011 EPOCH 2010.00 (WASHINGTON STATE PLANE-NORTH ZONE)

OWNER: CITY OF SEATTLE
IDENTIFIER: NONE
DESCRIPTION: PUNCH IN 2" BRASS DISC IN 4" DIA. CONC MON DOWN 1.0' IN CASE
LOCATION: LOCATED AT THE INTERSECTION
NORTHING: 241902.26
EASTING: 1264748.22

OWNER: CITY OF SEATTLE
IDENTIFIER: NONE
DESCRIPTION: 1/4" BRASS PLUG WITH PUNCH IN 4" DIA. CONC MON DOWN
 1.5' IN CASE
LOCATION: LOCATED AT THE WESTERLY QUADRANT OF 4TH AVE SOUTH AND
 SOUTH BOULEVARD STREET

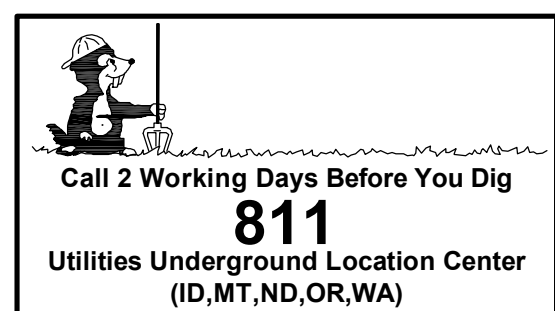
NORTHING: 242014.96
EASTING: 1264431.89

(WASHINGTON STATE REFERENCE NETWORK)

NAVD 88

HELD A BEARING OF NORTH 70°23'28" WEST ALONG THE MONUMENTED
CENTERLINE NORTHWEST 36TH STREET

SHEET NO.	SHEET DESCRIPTION
1	COVER SHEET AND SITE BENCHMARK INFORMATION
2	GENERAL NOTES
3	GENERAL NOTES
4	CURB, CW, LANDSCAPE
5	CURB, CW, LANDSCAPE
6	CROSS-SECTIONS AND TURNING SIMULATION



NAME OF DEVELOPEMENT 106 NW 36TH ST.

DPD PROJECT # 3037857-LU

106 NW 36TH ST.
COVER SHEET AND SITE
BENCHMARK INFORMATION

SDOT PROJECT NO.
SUSIP0000305

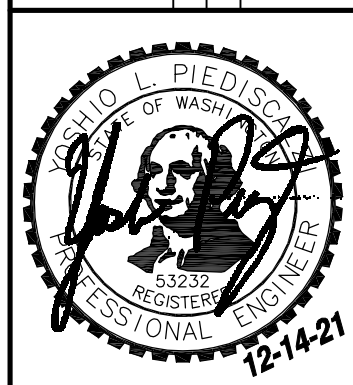
VAULT PLAN NO.

VAULT SERIAL NO.

SHEET 1 OF 6

R: |2020|0|20040|3|Drawings|Plots|SIP|01_02_03-3CVR20040.dwg 12/14/2021 3:06:54 PM

DATE	MARK	NATURE	MADE	CHK'D	REV'D



D.R. STRONG
CONSULTING ENGINEERS
ENGINEERS PLANNERS SURVEYORS

620 7TH AVENUE
KIRKLAND, WA 98033

425.827.3063 OFFICE
800.962.1402 TOLL FREE
425.827.2423 FAX
www.drstrong.com

REVIEWED BY SPU/WATER ENGINEERING	NAME OR INITIALS AND DATE	INITIALS AND DATE
20.....	DESIGNED YLP 10.07.21	REVIEWED:
	CHECKED YLP 10.07.21
REVIEWED BY SPU/DRAINAGE	DRAWN YLP 10.07.21	PROJECT MANAGER
20.....	CHECKED YLP 10.07.21	
APPROVED BY SDOT STREET IMPROVEMENT PERMITTING	DESIGN REVIEW YLP 10.07.21	REVISED AS-BUILT.....
20.....	All work done in accordance with the City of Seattle Standard Plans and Specifications in effect on the date shown above, and supplemented by Special Provisions.	



Seattle Department
of Transportation

SCALE: H. — V. — INSPECTOR'S'S BOOK —

60% Complete Street Improvement Plan

NOTES FOR SDOT STREET IMPROVEMENT PLANS: Not For Construction DRAINAGE CB AND INLET NOTES:

NAME OF DEVELOPMENT 106 NW 36TH ST.		DPD PROJECT # 3037857-LU	
106 NW 36TH ST.		SDOT PROJECT NO.	
		SUSIP0000305	
		VAULT PLAN NO.	
		VAULT SERIAL NO.	
GENERAL NOTES		SHEET 2 OF 6	

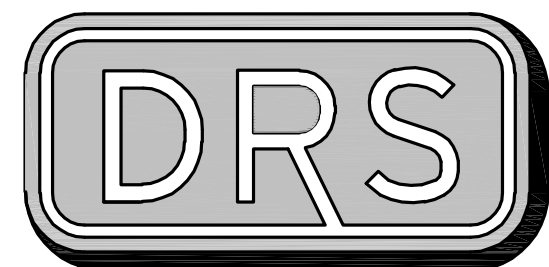
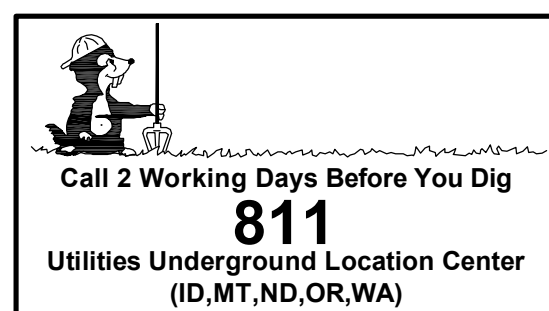
DRS PROJECT NUMBER 20040

60% Complete Street Improvement Plan

Not For Construction

1. ALL DISCONNECTIONS: TEMPORARY OR FINAL SERVICE CONNECTIONS WILL BE MADE BY SEATTLE CITY LIGHT (SCL) AT PROJECT'S EXPENSE. COORDINATE ALL ENERGIZING AND DE-ENERGIZING OF STREET LIGHTING SERVICE WITH SCL ELECTRICAL SERVICE REPRESENTATIVE AND STREETLIGHT ENGINEER FIFTEEN (15) WORKING DAYS IN ADVANCE. ADDITIONAL TIME MAY BE NEEDED FOR CREW SCHEDULING AND MOBILIZATION.
2. CONTRACTOR MUST MAKE PRIOR COORDINATION FOR FLOOD OR STREETLIGHT REMOVAL. CONTRACTOR MUST MAKE PRIOR DELIVERY COORDINATION FOR SALVAGED STREETLIGHT-RELATED MATERIALS TO SEATTLE CITY LIGHT SALVAGE YARD AT 4TH AVE S & S SPOKANE ST, 98134. CONTACT SALVAGE COORDINATOR AT 206-386-1765. NO ARTERIAL STREETLIGHT MAY BE DISABLED WITHOUT PRIOR APPROVAL FROM SEATTLE DEPARTMENT OF TRANSPORTATION, (SDOT).
3. EXISTING STREET LIGHTING SYSTEM SHALL BE MAINTAINED DURING CONSTRUCTION.
4. WORK MUST BE SCHEDULED SUCH THAT NO TWO (2) ADJACENT OR OPPOSITE STREETLIGHTS ARE DISABLED AT ANY ONE TIME.
5. ANY EXCAVATION IN PROXIMITY TO AN EXISTING STREETLIGHT POLE MUST BE DONE WITHOUT UNDERMINING ITS STABILITY. CONTRACTOR IS RESPONSIBLE FOR TEMPORARY STABILIZING SUPPORT.
6. INSTALLATION OF UNDERGROUND STREETLIGHT SYSTEMS, AND STREETLIGHT SYSTEM GROUNDING AND BONDING MUST BE PER SEATTLE CITY LIGHT (SCL) CONSTRUCTION STANDARD 1714.50.
7. ALL WIRING, INCLUDING STREET LIGHTING, PEDESTRIAN LIGHTING AND FESTOON LIGHTING CIRCUITS MUST BE CLEARLY LABELED PER SEATTLE CITY LIGHT (SCL) CONSTRUCTION STANDARD 1714.10."
8. EACH LUMINAIRE MUST BE FUSED PER (SCL) CONSTRUCTION STANDARD 1730.00.
9. STREETLIGHT HANDHOLE AND CONDUIT REQUIREMENTS MUST CONFORM TO SCL CONSTRUCTION STANDARD 1716.07.
10. PULL TAPE MUST BE INSTALLED THROUGH VACANT CONDUIT CAPPED PER (SCL) CONSTRUCTION STANDARD U2-11.40/NDK-40.
11. MAINTAIN MINIMUM HORIZONTAL & VERTICAL CLEARANCES BETWEEN SCL UNDERGROUND STRUCTURES AND VARIOUS OTHER UTILITY STRUCTURES PER SCL CONSTRUCTION STANDARD 0214.00.
12. FOR STREET LIGHTING INSPECTIONS CONTACT SCL ELECTRICAL REVIEWER TEN (10) WORKING DAYS IN ADVANCE.
13. CONTRACTOR MUST CALL FOR AN ELECTRICAL REVIEWER INSPECTION OF THE STREET LIGHTING SYSTEM AT VARIOUS STAGES OF INSTALLATION/CONSTRUCTION OR AS INSTRUCTED BY THE SCL INSPECTOR.
14. CONTRACTOR MUST PROVIDE AN OPERATOR AND MAN LIFT TRUCK FOR USE DURING INSPECTION OF INSTALLED STREETLIGHT FACILITIES.
15. CONTRACTOR MUST ASSIST THE INSPECTOR DURING INSPECTIONS, COMMISSIONING, AND FINAL CONNECTION PHASES OF THE PROJECT AS INSTRUCTED BY THE INSPECTOR. SUCH ASSISTANCE WILL INCLUDE, BUT NOT BE LIMITED TO OPENING HANDHOLES, MANHOLES AND VARIOUS ACCESS COVERS, DISCONNECTING AND RECONNECTING FUSE HOLDERS AND MECHANICAL SPLICE CONNECTIONS, VERIFYING CONDUIT RUNS, ETC.
16. PRIOR TO REQUESTING FINAL STREETLIGHT SERVICE CONNECTION, CONTRACTOR MUST CORRECT ALL PUNCH LIST ITEMS AND CALL FOR A RE-INSPECTION WHERE REQUIRED BY THE INSPECTOR. CONTRACTOR MUST PREPARE A SIGNED AS-BUILT AND WIRING DIAGRAM WHICH INCLUDES WHICH DUCT IS USED IN EACH DUCT BANK."

1. APPLICATION FOR A NEW METERED WATER SERVICE AND PAYMENT OF ALL FEES IS REQUIRED BEFORE SERVICE WILL BE AVAILABLE.
2. APPLICANT WILL NEED A WATER AVAILABILITY CERTIFICATE (WAC) AND LEGAL DESCRIPTION OF PROPERTY WHEN SUBMITTING THE APPLICATION. TO OBTAIN A WAC, PLEASE CONTACT THE DEVELOPMENT SERVICES OFFICE AT (206) 684-3333 OR SPUWATERAVAILABILITY@SEATTLE.GOV.
3. ALL WATER SERVICES SHALL BE LOCATED IN THE PUBLIC RIGHT OF WAY AND WITHIN THE FRONTAGE OF THE PARCEL BEING SERVED.
4. WATER SERVICES SERVING PARCELS WITHOUT FRONTAGE TO THE PUBLIC RIGHT OF WAY (SUCH AS UNIT LOT SUBDIVISIONS) OR LANDLOCKED PARCELS SHALL BE SERVED BY A PRIVATE WATER SERVICE EXTENDING FROM THE WATER METER TO THE PARCEL BEING SERVED. THE WATER SERVICE SHALL BE INSTALLED IN A DEDICATED EASEMENT. THE EASEMENT SHALL BE OBTAINED BY THE DEVELOPER, RECORDED, AND A COPY SHALL BE PROVIDED TO SEATTLE PUBLIC UTILITIES (SPU) AT THE TIME OF APPLICATION SUBMITTAL.
5. ALL WATER SERVICES PIPING ON PROPERTY MUST BE INSPECTED PRIOR TO BACKFILLING TRENCH. CONTACT (206) 684-5800 TO REQUEST AN INSPECTION.
6. CUSTOMERS ARE REQUIRED TO INSTALL AN APPROVED AIR GAP OR REDUCED-PRESSURE BACKFLOW ASSEMBLY (RPBA/RPDA) ON ALL WATER SERVICE CONNECTIONS POSING A HIGH HEALTH CROSS-CONNECTION HAZARD (PURSUANT TO WAC 246-290-490). BACKFLOW PREVENTION IS ALSO REQUIRED ON WATER SERVICE CONNECTIONS SUCH AS FIRE SERVICES, IRRIGATION SERVICES, BUILDINGS EXCEEDING THREE STORIES OR 30 FT. IN HEIGHT ABOVE THE METER (MEASURED TO THE HIGHEST WATER FIXTURE), AND MAY BE REQUIRED FOR OTHER WATER SERVICES. SPU AND KING COUNTY HEALTH DEPARTMENT (KCHD) ARE THE ADMINISTRATIVE AUTHORITIES ENGAGED IN A JOINT PROGRAM IDENTIFYING ACTUAL AND POTENTIAL CROSS-CONNECTIONS BETWEEN THE PUBLIC WATER SUPPLY AND POSSIBLE SOURCES OF CONTAMINATION. FOR ANSWERS TO SPECIFIC CROSS-CONNECTION CONTROL QUESTIONS OR TO REQUEST AN INSPECTION, PLEASE CALL (206) 684-3536.

[illegible]

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CHECKED		
DESIGNED		
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DPD PROJECT # 3037857-LU

106 NW 36TH ST.

GENERAL NOTES

SDOT PROJECT NO.	SUSIP0000305
Vault Plan No.	
Vault Serial No.	
SHEET	3 OF 6

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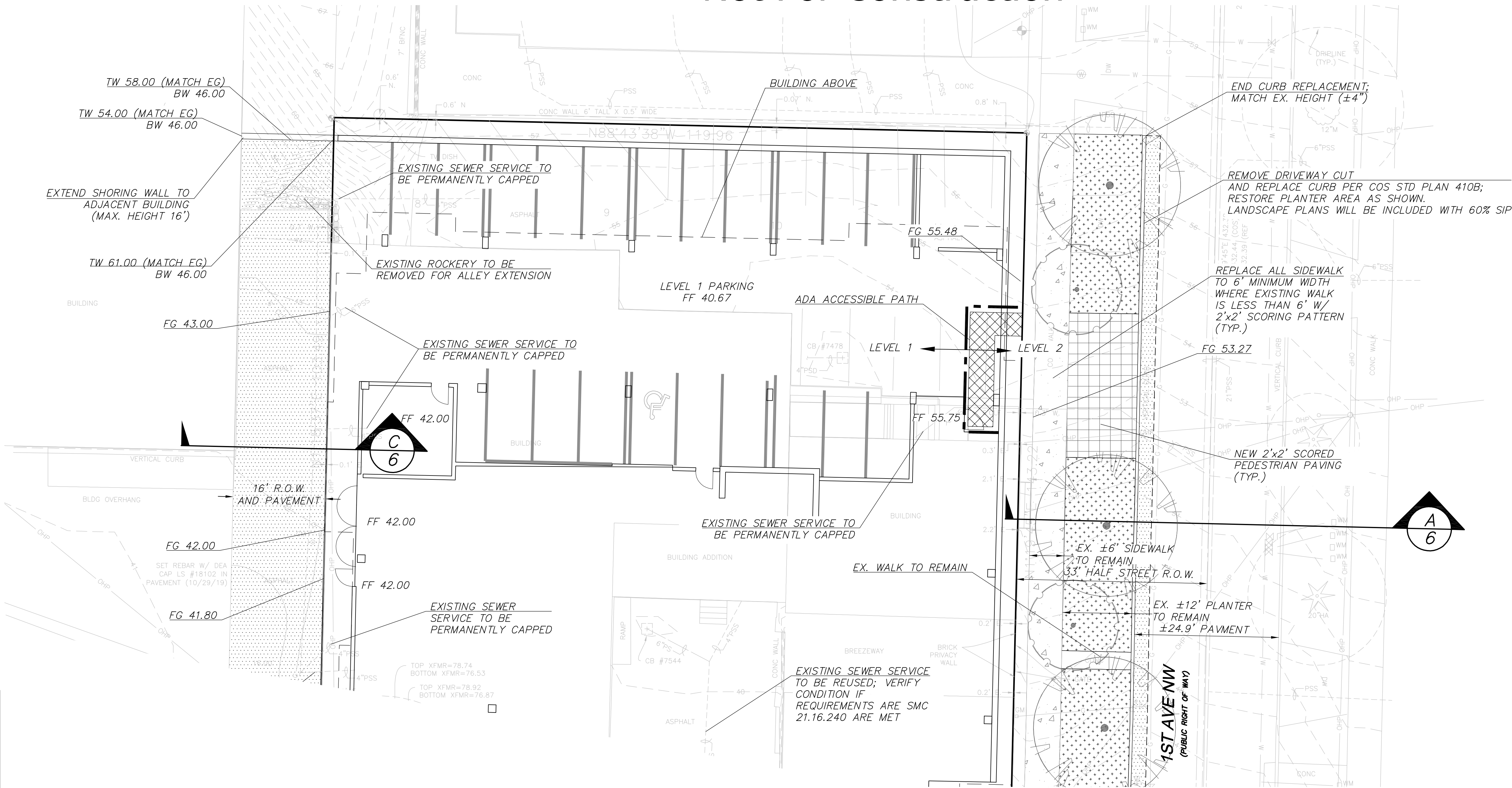
DRS PROJECT NUMBER 20040

NE 1/4, SE 1/4 SEC 13, TWP. 25N., RGE 3E., W.M.

60% Complete Street Improvement Plan

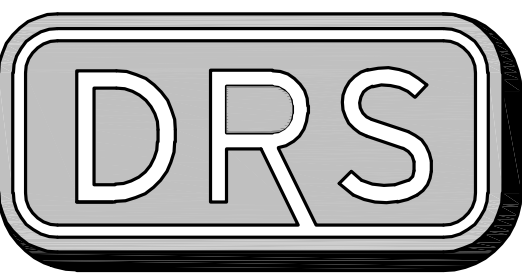
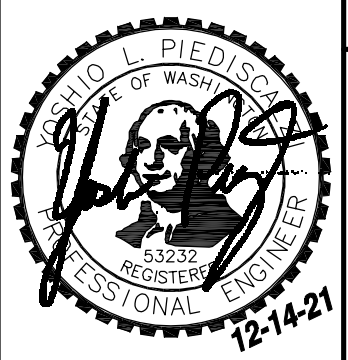
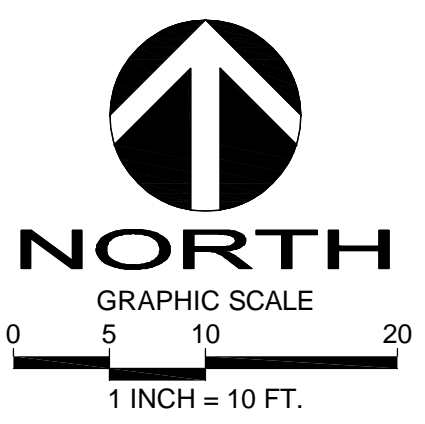
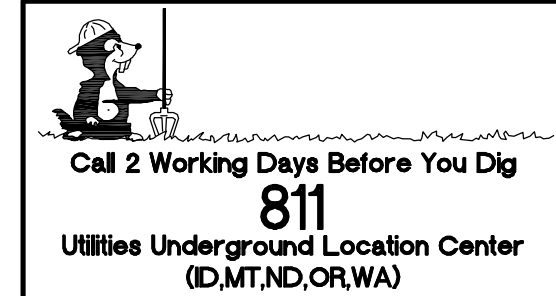
Not For Construction

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SEE SHEET 5

- NOTES:**
- RESTORE CHANNELIZATION FOR ALL DISTURBED PAVEMENT MARKINGS.
 - MAINTAIN 1' MINIMUM VERTICAL SEPARATION WHEN CROSSING GAS MAINS OR SERVICES, AND 3' MINIMUM HORIZONTAL SEPARATION WHEN RUNNING PARALLEL TO GAS MAINS OR SERVICES. LOCATE AND PROTECT ALL GAS FACILITIES IN THE FIELD.
 - ACCESS TO WONDERLAND GEAR EXCHANGE PARKING LOT WILL NEED TO BE MAINTAINED AT ALL TIMES OR CLOSURES WILL NEED TO BE COORDINATED WITH OWNER.
 - ALL TRAVEL LANES, BUS LANES, PARKING LANES AND SIDEWALKS MUST REMAIN OPEN OFF HOURS.



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DESIGN REVIEW YLP 10.07.21	REVISED AS-BUILT.....

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NAME OF DEVELOPEMENT 106 NW 36TH ST.	DPD PROJECT # 3037857-LU
106 NW 36TH ST.	SDOT PROJECT NO. SUSIP0000305
CURB, CW, LANDSCAPE	VAULT PLAN NO.
	VAULT SERIAL NO.
	SHEET 4 OF 6

DRS PROJECT NUMBER 20040

60% Complete Street Improvement Plan

Not For Construction

EXISTING SEWER SERVICE TO BE PERMANENTLY CAPPED

EXISTING WATER SERVICE TO BE RETIRED; CUT AND CAP AT MAIN, MIN. 5'x5' PAVEMENT PATCH

EX. UTILITY POLE TO REMAIN

EX. GAS SERVICE TO BE REUSED

EX. TREE TO REMAIN

45' HALF STREET R.O.W.

EX. ±6' SIDEWALK TO REMAIN

EX. ±9.70' PLANTER TO REMAIN

EX. TREE TO REMAIN

EXISTING WATER SERVICE TO BE RETIRED; CUT AND CAP AT MAIN, MIN. 5'x5' PAVEMENT PATCH

CONNECT ALL ROOF DOWNSPOUTS AND FOOTING DRAINS HERE

±54' PAVEMENT

NW 36TH ST (PUBLIC RIGHT OF WAY)

TIE INTO EX. 18" CONCRETE STORM MAIN 18" IE ±33.65 NEW 8" IE 34.48

EXISTING SEWER SERVICE TO BE REUSED; VERIFY CONDITION IF REQUIREMENTS ARE SMC 21.16.240 ARE MET

EXISTING WATER SERVICE TO BE RETIRED; CUT AND CAP AT MAIN, MIN. 5'x5' PAVEMENT PATCH

EX. TREE TO REMAIN

4" COMBINATION DOMESTIC WATER/FIRE SERVICE METER WITH 4" SERVICE LINE UNDER SEPARATE PERMIT

REMOVE DRIVEWAY CUT AND REPLACE CURB PER COS STD PLAN 410B; RESTORE PLANTER AREA AS SHOWN. SEE LANDSCAPE PLANS FOR MORE DETAILS

PROTECT EX. DRAINAGE STRUCTURE DURING CONSTRUCTION. ANY STRUCTURE DAMAGED SHALL BE REPLACED PER CITY STANDARDS (TYP.)

START CURB REPLACEMENT; MATCH EX. HEIGHT (±4")

EX. UTILITY POLE TO REMAIN

ALL INTERSECTION ADA RAMPS RECENTLY CHECKED AND VERIFIED FOR COMPLIANCE BY SDOT; NO MODIFICATIONS REQUIRED

EX. UTILITY POLE TO REMAIN

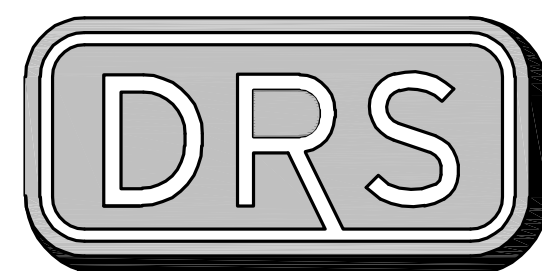
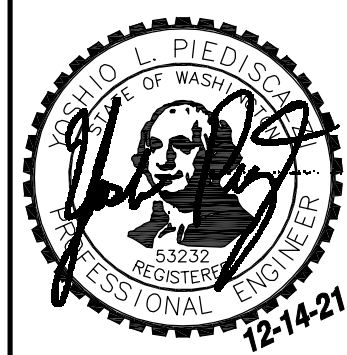
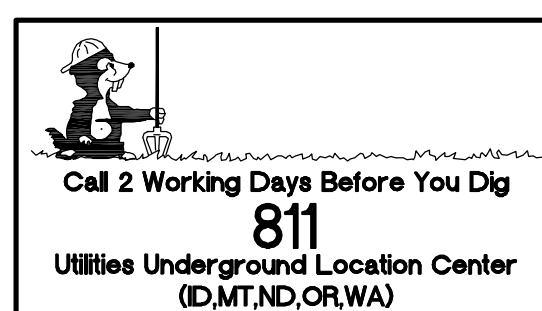
1ST AVE NW (PUBLIC RIGHT OF WAY)

B 6

FND. PUNCH IN 2" BRASS DISC IN 4" DIA. CONC MON DOWN 1.0' IN CASE (10/22/19) NORTHING 241902.26 EASTING 1264748.22



DATE	MARK	NATURE	MADE	CHK'D	REV'D
REVISIONS					



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..... 20.....	CHECKED YLP 10.07.21	
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..... 20.....	All work done in accordance with the City of Seattle Standard Plans and Specifications in effect on the date shown above, and supplemented by Special Provisions.	



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NAME OF DEVELOPEMENT 106 NW 36TH ST.

DPD PROJECT # 3037857-LU

106 NW 36TH ST.

CURB, CW, LANDSCAPE

SHEET 5 OF 6

ORDS PROJECT NUMBER 20040

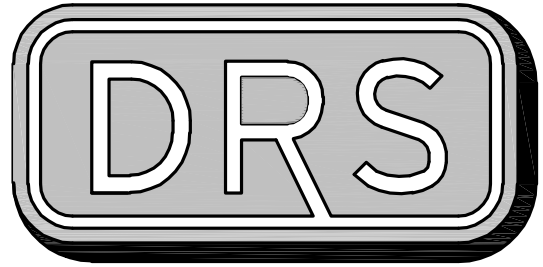
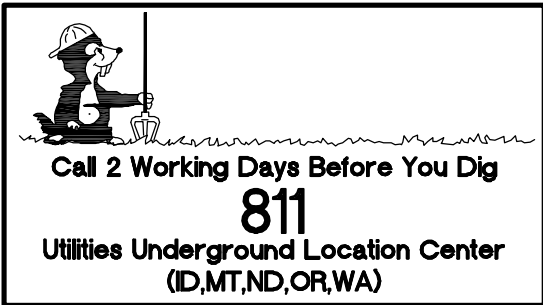
NE 1/4, SE 1/4 SEC 13, TWP. 25N., RGE 3E., W.M.

60% Complete Street Improvement Plan

Not For Construction

R: 2020\10\20040\3 Drawings\Plans\SP\04_05_35P20040.dwg 12/14/2021 3:59:39 PM

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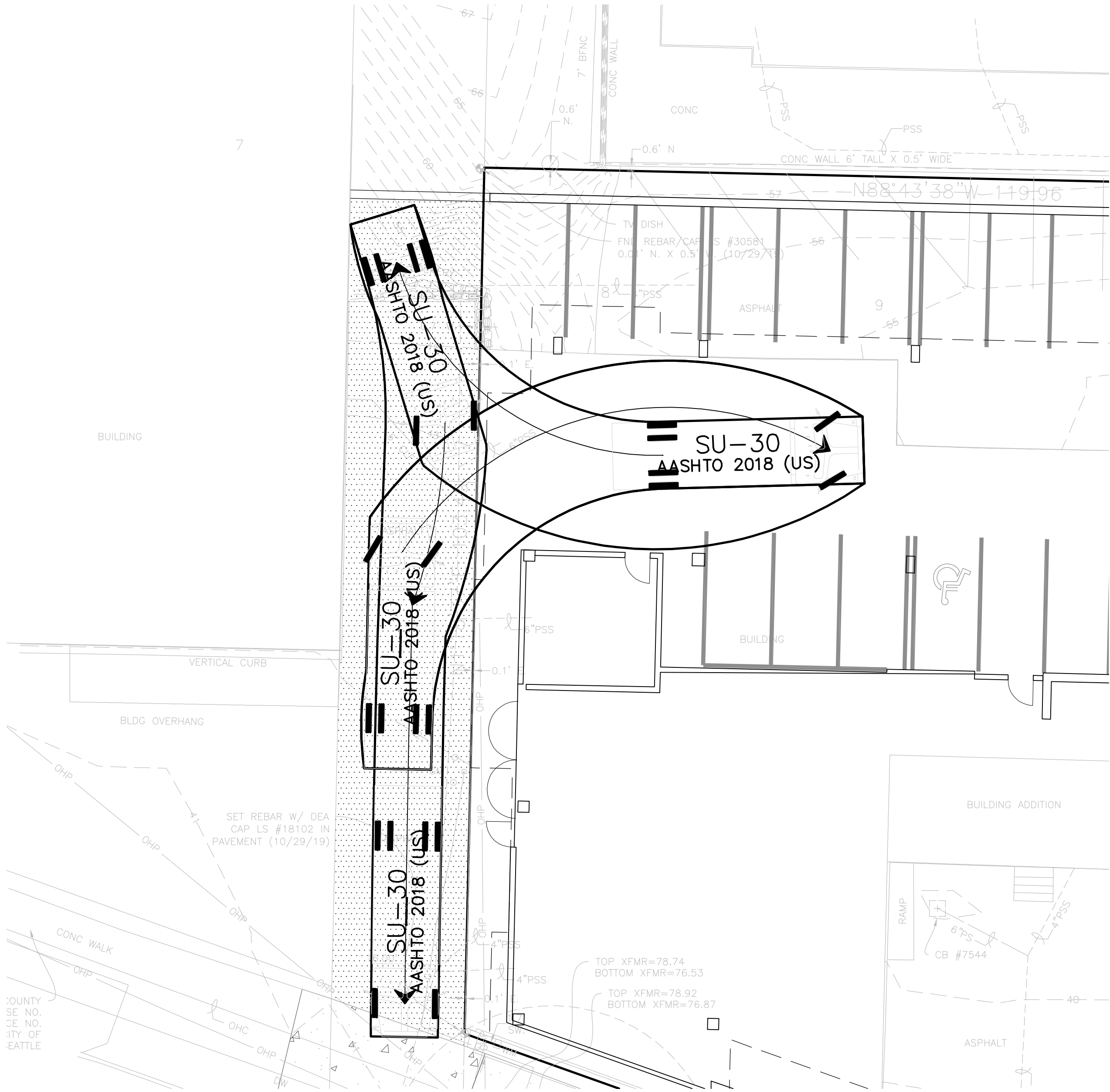
NAME OF DEVELOPEMENT 106 NW 36TH ST.

DPD PROJECT # 3037857-LU

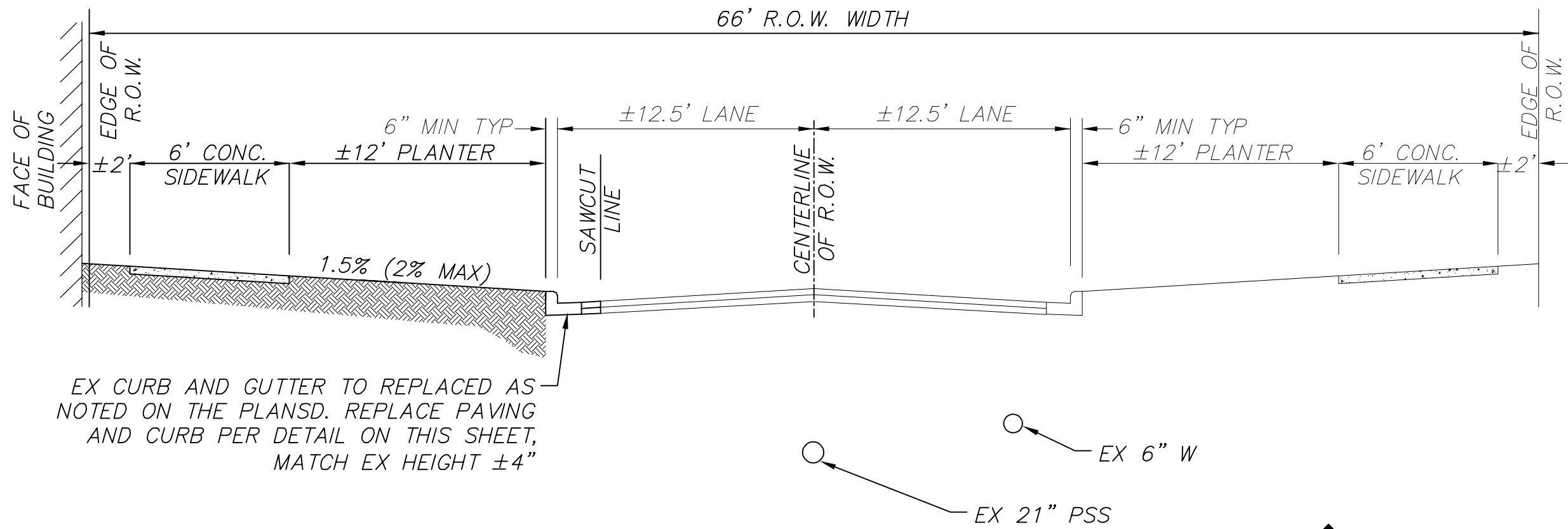
106 NW 36TH ST.

CROSS-SECTIONS AND
TURNING SIMULATION

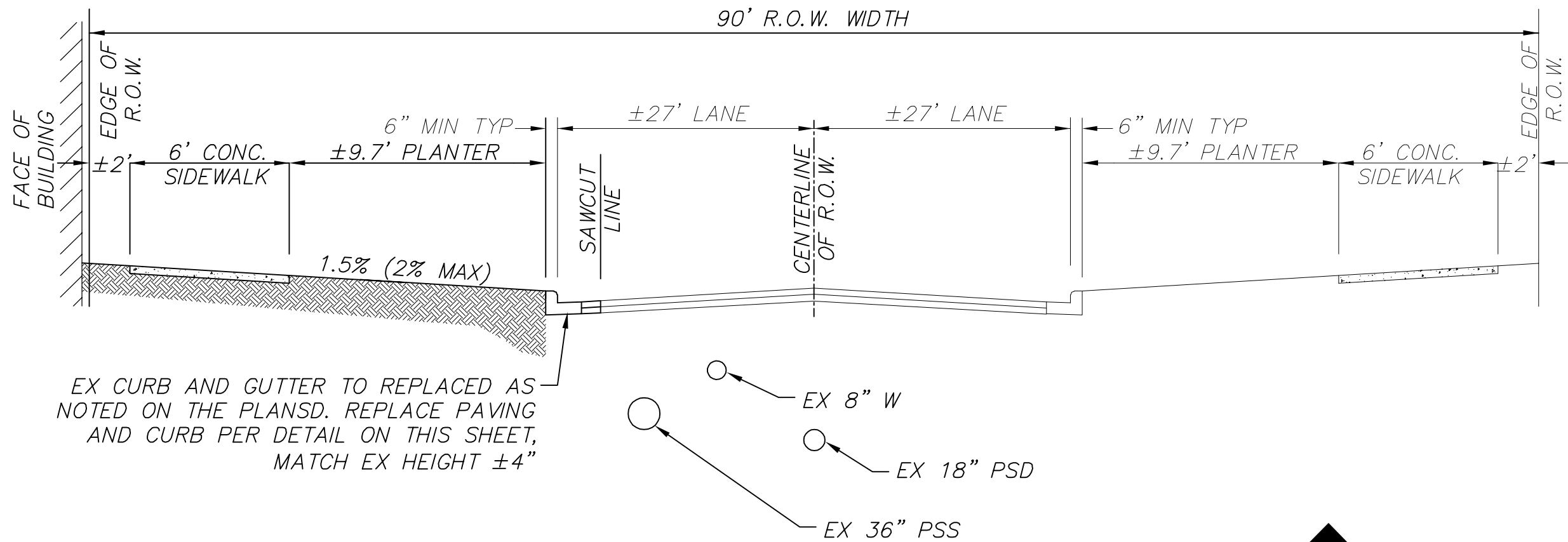
SDOT PROJECT NO. SUSIP0000305
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VAULT SERIAL NO.
SHEET 6 OF 6



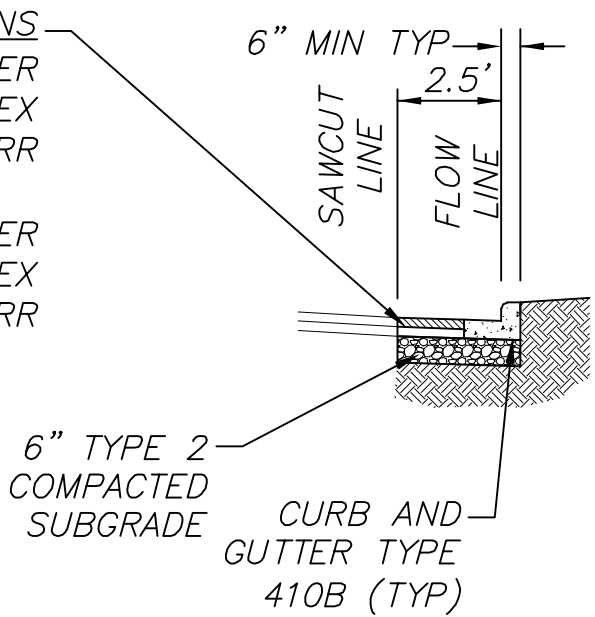
SU-30 TURNING SIMULATION



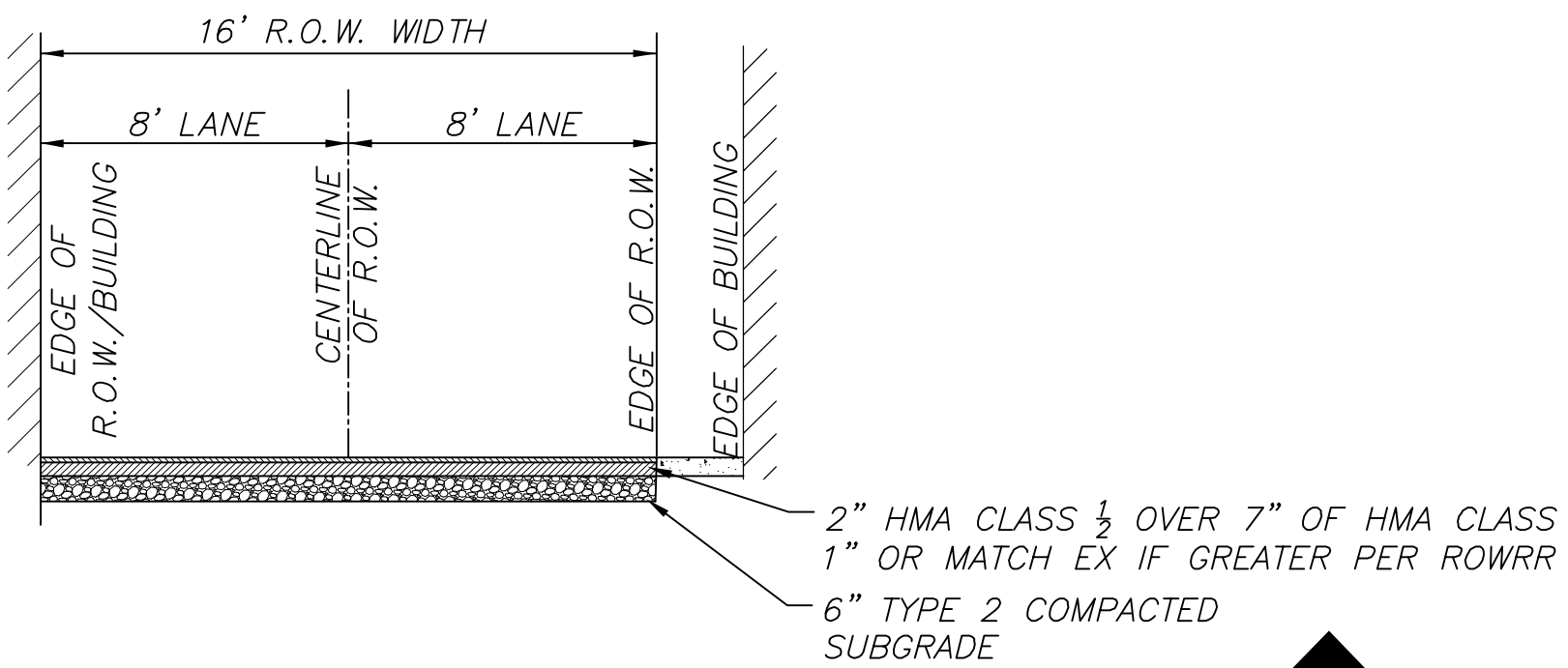
TYPICAL 1ST AVE NW ROADWAY SECTION
NTS



TYPICAL NW 36TH ST ROADWAY SECTION
NTS



TYPICAL CURB
REPLACEMENT
DETAIL



TYPICAL ALLEY SECTION
NTS

DRS PROJECT NUMBER 20040

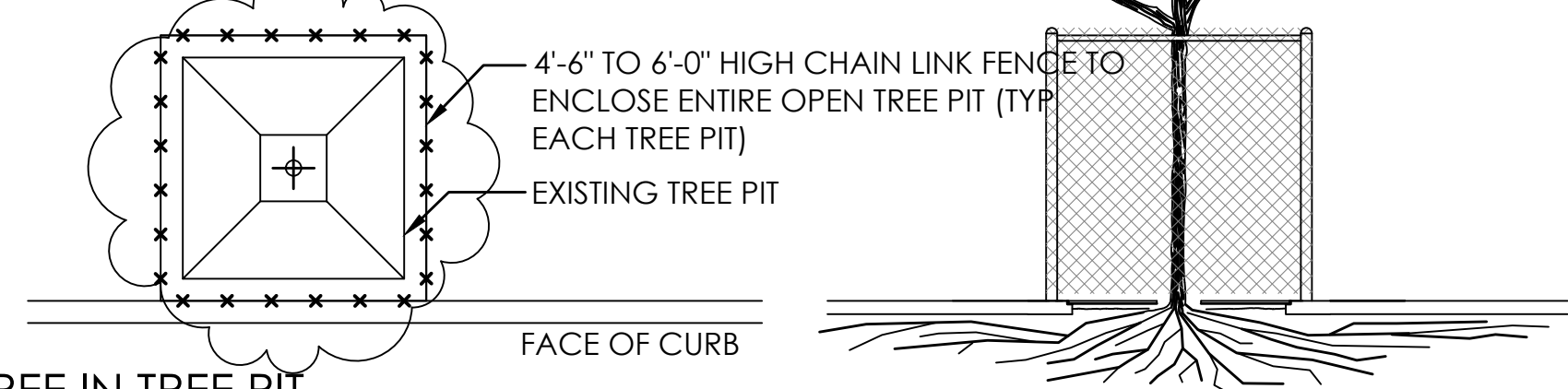
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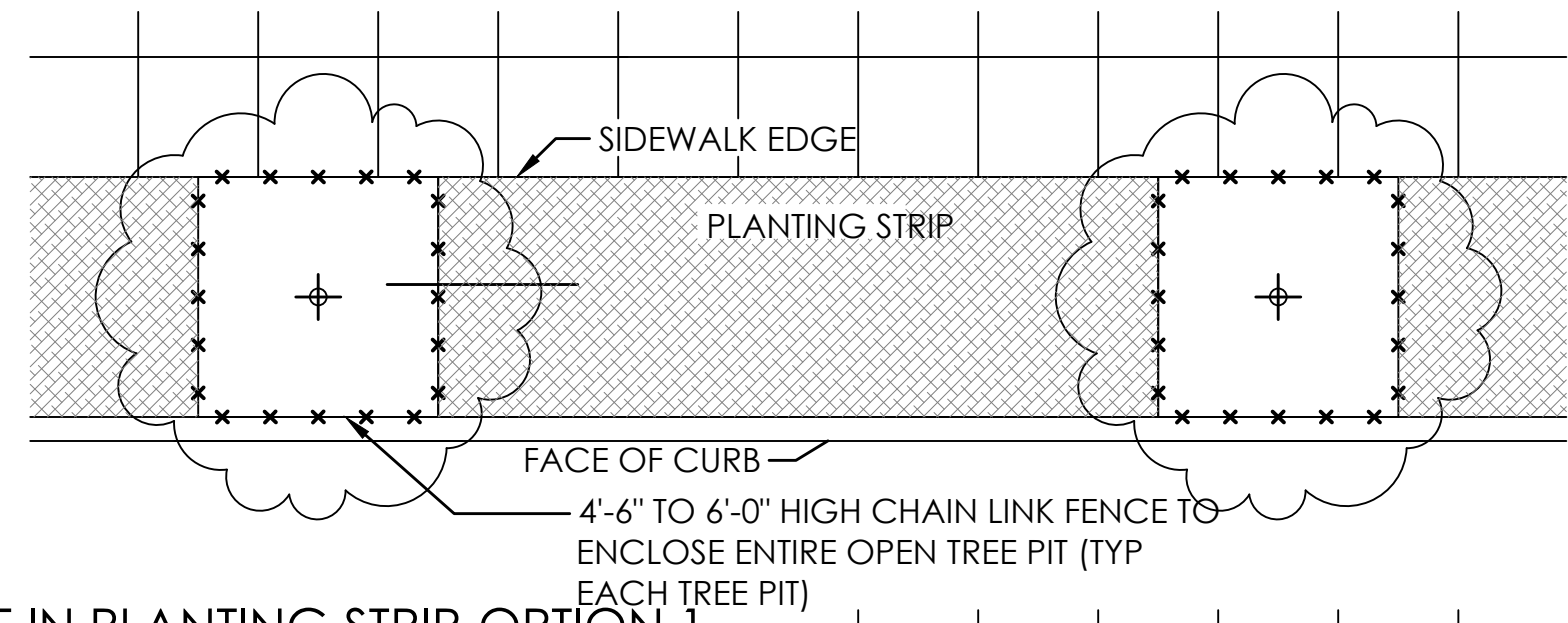
1ST AVE NW LANDSCAPE

NOTE:

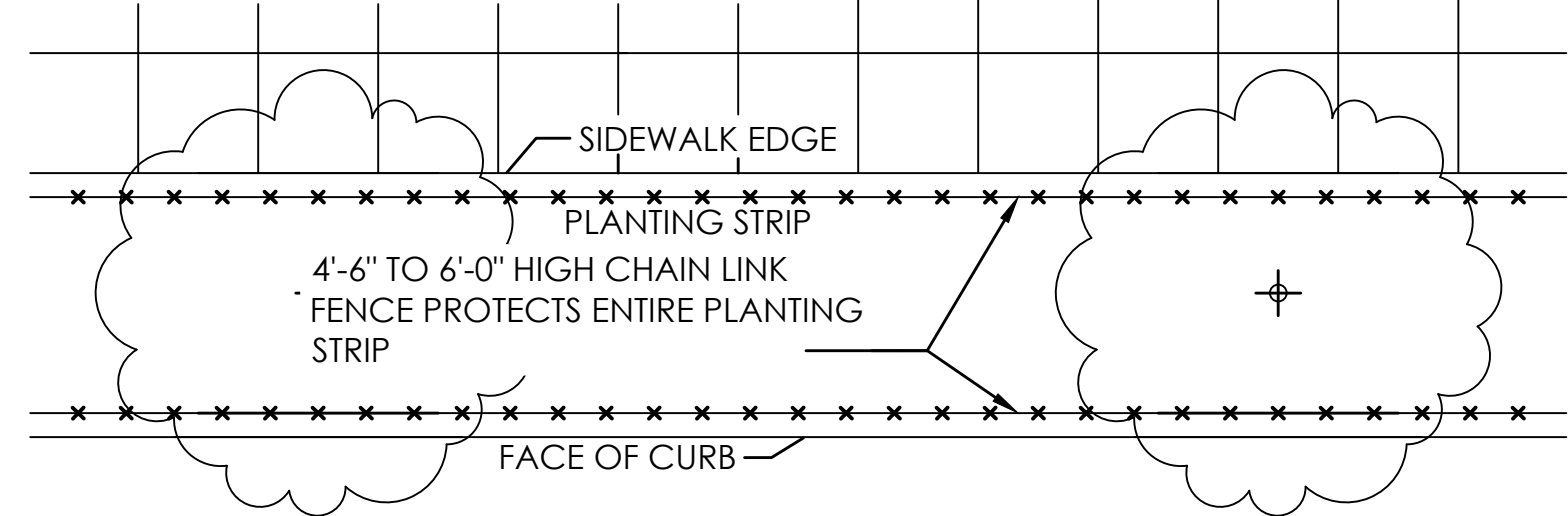
CONSIDER TRAFFIC TURNING VISIBILITY AND PEDESTRIAN VISIBILITY WHEN SELECTING FENCE HEIGHT; TYPICALLY SHORTER FENCING AROUND TREE PITS BETWEEN SIDEWALK AND ROADWAY IS DESIRED.



TREE IN TREE PIT



TREE IN PLANTING STRIP-OPTION 1



TREE IN PLANTING STRIP-OPTION 2

1

STREET TREE PROTECTION DURING CONSTRUCTION COS 132A

SCALE: 1/4" = 1'-0"

REF COS STD SPEC SEC 1-07.16(2), 8-01

2

DECIDUOUS TREE PLANTING IN PLANTING STRIP

SCALE: 1 1/2" = 1'-0"

STAKE TREE WITH (2) TREATED 2"Ø LODGEPOLE PINE DOWELED TREE STAKES (8'-0" LENGTH) LOOP EACH TIE AROUND HALF TREE LOOSELY TO PROVIDE 1" SLACK FOR TRUNK GROWTH.

"CHAINLOCK" OR EQUAL TREE TIE MATERIAL (1" SIZE) NAIL OR STAPLE TREE TIE MATERIAL TO STAKE TO HOLD VERTICALLY. LOOP EACH TIE AROUND HALF TREE LOOSELY TO PROVIDE 1" SLACK FOR TRUNK GROWTH.

MULCH TREE PIT MIN 5'-0" LENGTH X FULL PLANTING STRIP WIDTH BETWEEN CURB AND SIDEWALK (FOR PLANTING STRIPS LESS THAN 6'-0" WIDE) OR PROVIDE 5'-0" DIA MULCH RING FOR PLANTING STRIPS WIDER THAN 6'-0".

ROUGHEN SIDES OF PLANTING HOLE MAXIMIZE EXCAVATED AREA WITHOUT UNDERMINING ADJACENT PAVING/CURB.

18" DEEP ROOTBARRIER; PLACE AT EDGE OF SIDEWALK AND CURB. PLACE PRIOR TO PLACEMENT OF NEW SIDEWALK OR CURB TO PREVENT UNDERMINING. SEE PLAN FOR LOCATIONS AND EXTENT

SEE STD SPEC SECTION 8-02.3(6)B, OR AS APPROVED BY ENGINEER.

REMOVE ALL WIRE, STRINGS, AND OTHER NON-BURLAP MATERIAL; AND REMOVE BURLAP FROM TOP 2/3 OF ROOTBALL MINIMUM. REMOVE ENTIRELY WHEN DIRECTED BY THE ENGINEER.

2'-0" MIN 3'-6" MIN

SIDEWALK

MIN WIDTH OF TREE PIT = 2 TIMES ROOTBALL DIAMETER OR 5'-0", WHICHEVER IS GREATER

MULCH AREA TO BE CLEAR OF GRASS, WEEDS, ETC. TO REDUCE COMPETITION WITH TREE ROOTS

NOTES:

1. PLANTING INCLUDES REMOVAL OF STAKES ONE YEAR AFTER INSTALLATION.
2. SHAPE SOIL SURFACE TO PROVIDE 4' DIA WATERING RING.
3. TREE CLEARANCE SHALL BE PER STD PLAN NO 030.
4. SEE STD PLAN NO 424 FOR TREE PIT DETAIL.
5. ADJUST TREE TIES DURING ESTABLISHMENT TO ALLOW ROOM FOR GROWTH (@1" SLACK).
6. ROOT BARRIER REQUIRED ALONG EDGE OF ROADWAY, CURB, DRIVEWAY, TRAIL, SIDEWALK, OR OTHER STRUCTURES WHERE ROOTBALL IS WITHIN TWO FEET; PLACE VERTICAL ROOTBARRIER AS SHOWN IN STANDARD PLANS NO 424a OR 424b. INSTALL ROOT BARRIERS FOR NEWLY PLANTED TREES ONLY.

SET TOP OF ROOT CROWN 2" ABOVE ADJACENT CURB & SIDEWALK GRADE.

2"-3" MULCH DEPTH (TAPERED AT TRUNK)

3" TO 4" HIGH WATERING RING (SEE NOTE 2)

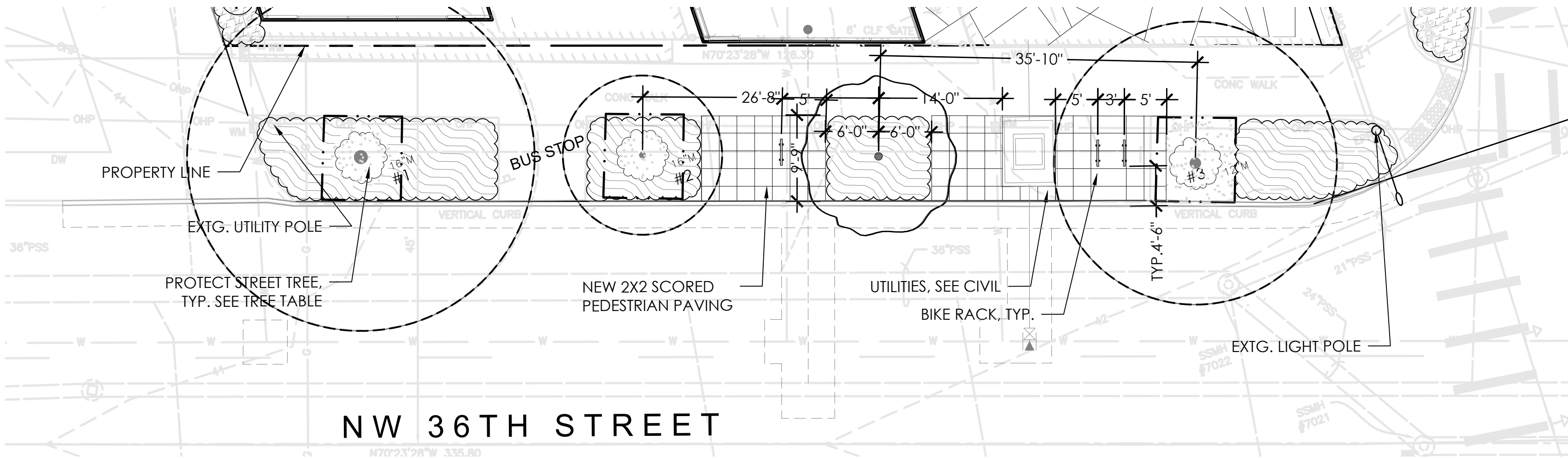
TREE PIT DEPTH = ROOTBALL DEPTH (MEASURE BEFORE DIGGING TO AVOID OVEREXCAVATION).

DRIVE STAKES 6" TO 1'-0" INTO UNDISTURBED SOIL BELOW ROOTBALL.

DRIVE STAKE AT ROOTBALL EDGE (TYP)(SEE NOTE 1)

UNDISTURBED SUBGRADE (PROVIDES FIRM BASE SO THAT ROOTBALL WILL NOT SINK.

REF COS STD SPEC SEC 8-02



1

LANDSCAPE SITE PLAN

scale 1" = 10' - 0"

60% SIP Approval Review Groups	Name	Date
King County Metro		
Neighborhood Traffic		
Parks		
Pavement Management		
Ped & Bike		
Roadway Structures		
SCL Engineering (PRT)		
SCL Street Lighting		
Signal Operations		
Signal Operations Inspection		
SIP Project Manager		
SPU Real Estate Services		
SPU Sewer/Drainage		
SPU Water		
Street Lighting and Signal Design		
Traffic Operations		
Urban Forestry		

FREMONT APARTMENTS

SDCI PROJECT #: 005341-19PA

SDOT PROJECT NO.	SUSIP0000305
VAULT PLAN NO.	.
VAULT SERIAL NO.	.
SHEET	8 OF 10

106 NW 36TH ST.

NW 36TH ST. LANDSCAPE AND DETAILS

Karen Kiest
Landscape Architects
111 west john street suite 306
seattle washington 98119
206 323 6032
www.kk-la.com

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DAYS BEFORE YOU DIG
1-800-424-5555

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FREMONT APARTMENTS

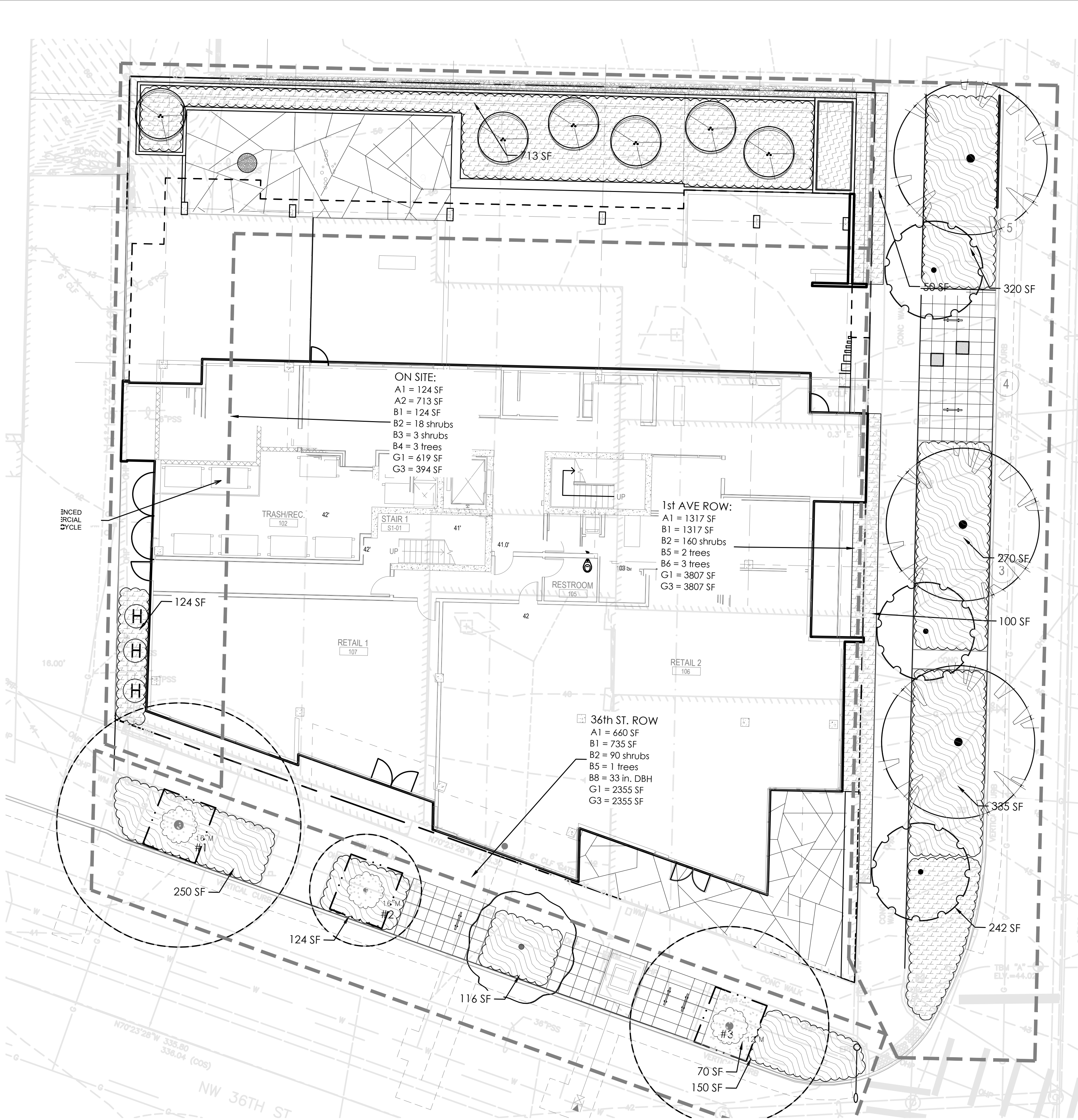
SDCI PROJECT #: 005341-19PA

106 NW 36TH ST.

SEATTLE GREEN FACTOR - CALCULATIONS

SDOT PROJECT NO. SUSIP0000305
VAULT PLAN NO. .
VAULT SERIAL NO. .
SHEET 10 OF 10

60% SIP Approval Review Groups	Name	Date
King County Metro		
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Parks		
Pavement Management		
Ped & Bike		
Roadway Structures		
SCL Engineering (PRT)		
SCL Street Lighting		
Signal Operations		
Signal Operations Inspection		
SIP Project Manager		
SPU Real Estate Services		
SPU Sewer/Drainage		
SPU Water		
Street Lighting and Signal Design		
Traffic Operations		
Urban Forestry		



1 SEATTLE GREEN FACTOR PLAN
scale 1" = 10' - 0"

KKLA revision 6/23/2020 to reflect values from Tables A & B at 23.86.019

Green Factor Worksheet*



		Planting Area				TOTAL**
		1st ROW	36th ROW	Onsite	Roof NIC	
A1	square feet	1317	660	124		2101
A2	square feet			713		713
B1	square feet	1317	735	124		2176
B2	# of plants	160	90	18		268
B3	# of plants			3		3
B4	# of trees			3		3
B5	# of trees	2	1			3
B6	# of trees	3				3
B7	# of trees					0
B8	DBH (in)		33			33
C1	square feet					0
C2	square feet					0
C3	square feet					0
D	square feet					0
E1	square feet					0
E2	square feet					0
F	square feet					0
G1	square feet	3807	2355	619		6781
G2	square feet					0
G3	square feet	3807	2355	394		6556
G4	square feet					0

* See Green Factor score sheet for category definitions
** Enter totals on the Green Factor score sheet

KKLA revision 6/22/2020 to reflect values from Tables A & B at 23.86.019

Green Factor Score Sheet



106 NW 36th St NC2-55 SGF min. 0.3		enter sq ft of parcel 14,798		SCORE	0.433
Parcel size (enter this value first)					
Totals from GF worksheet				Factor	Total
Landscape Elements**					
A Landscaped areas (select one of the following for each area)					
1	Landscaped areas with a soil depth of 24" or greater	enter sq ft 2101		0.6	1,260.6
2	Bioretention facilities meeting standards of the Stormwater Code, Title 22, Subtitle VIII	enter sq ft 713		1.0	713.0
B Plantings (credit for plants in landscaped areas from Section A)					
1	Mulch, ground covers, or other plants less than 2' tall at maturity	enter sq ft 2176		0.1	218
2	Medium shrubs or other perennials at least 2 feet tall, but less than 4 feet tall, at maturity	enter number of plants 268	2412	0.3	724
3	Large shrubs or other perennials at least 4 feet tall at maturity	enter number of plants 5	108	0.3	32
4	Tree canopy for "small trees" or equivalent	enter number of plants 3	225	0.3	68
5	Tree canopy for "small/medium trees" or equivalent	enter number of plants 3	450	0.5	225.0
6	Tree canopy for "medium/large trees" or equivalent	enter number of plants 3	750	0.7	525.0
7	Tree canopy for "large trees" or equivalent	enter number of plants 0	0	0.9	-
8	Tree canopy for preservation of large existing trees with trunks 6" + in diameter - calculated at 20 sq ft per inch diameter	enter inches DBH 33	660	1.0	660.0
C Green roofs					
1	Planted over at least 2 inches but less than 4 inches of growth medium	enter sq ft 0		0.4	-
2	Planted over at least 4 inches but less than 8 inches of growth medium	enter sq ft 0		0.6	-
3	Planted over at least 8 inches of growth medium	enter sq ft 0		0.8	-
D Vegetated walls in C and NC zones only					
		enter sq ft 0		0.4	-
E Permeable paving					
1	Permeable paving over at least 6" and less than 24" of soil or gravel	enter sq ft 0		0.2	-
2	Permeable paving over at least 24" of soil or gravel	enter sq ft 0		0.5	-
F Structural soil systems					
		enter sq ft 0		0.5	-
sub-total of sq ft =			9,595		
G Bonuses					
1	Drought-tolerant or native plant species	enter sq ft 6781		0.1	678.1
2	Landscaped areas where at least 50% of annual irrigation needs are met through the use of harvested rainwater	enter sq ft 0		0.2	-
3	Landscaping visible to passerby from adjacent public right of way or public open spaces	enter sq ft 6556		0.2	1,311
4	Landscaping in food cultivation	enter sq ft 0		0.1	-
			Green Factor numerator =	6,414	
* Do not count public rights-of-way in parcel size calculation.					
** You may count landscape improvements in rights-of-way contiguous with the parcel. All landscaping on private and public property must comply with the Landscape Standards Director's Rule (DR 6-2009)					



1 LANDSCAPE SITE PLAN
scale 1" = 10' - 0"

MATERIALS AND FINISHES: RIGHT OF WAY

SYMBOL	DESCRIPTION
	PER COS STD PLAN 420 WITH THE FOLLOWING EXCEPTIONS: - SAND-COATED EXP. JOINTS, DEEP TOOLED SCORE JOINTS, NO SHINERS - 2'x2' SCORING UNLESS OTHERWISE INDICATED ON PLAN
	THROUGH JOINT
	BIKE RACK - OAHU BY SPORTWORKS - SURFACE MOUNT, 2 SPACES PER RACK, TYP.
	MULCH, 3" DEPTH
	GRANITE SEAT CUBE, SEE DETAIL
	TREE PROTECTION PER COS STANDARD, SEE DETAIL

NOTES

- ALL PLANTING AREAS TO RECEIVE 2" OF MULCH.
- AT GRADE LANDSCAPING AREAS SHALL CONTAIN AT LEAST EIGHT INCHES OF TOPSOIL AT FINISH GRADE. PLANTING SOIL TO BE AMENDED PER COS 2017 STANDARD PLAN #142
- SHRUBS WITHIN ROW SHALL BE 30" HT. MAX, 24" MAX HT WITHIN 30' FROM INTERSECTION
- ALL PLANTING AREAS TO RECEIVE AUTOMATIC IRRIGATION SYSTEM.
- SEE SEATTLE GREEN FACTOR PLAN AND CALCULATIONS.
- SEE LANDSCAPE DETAILS.

MATERIALS AND FINISHES: ON SITE

SYMBOL	DESCRIPTION
	PER COS STD PLAN 420 WITH THE FOLLOWING EXCEPTIONS: - SAND-COATED EXP. JOINTS, DEEP TOOLED SCORE JOINTS, NO SHINERS - 2'x2' SCORING UNLESS OTHERWISE INDICATED ON PLAN
	THROUGH JOINT
	BIKE RACK - OAHU BY SPORTWORKS - SURFACE MOUNT, 2 SPACES PER RACK, TYP.
	CIP DECORATIVE TOPPING SLAB, REF. ARCH.
	CIP ON STRUCTURE PLANTERS BIOPLANTERS: 42" ABOVE SLAB OTHER PLANTERS: 24" ABOVE SLAB
	PLANTER SOIL: BIO PLANTERS: PER COS 2017 OTHER PLANTERS: PER COS 2017
	FIRE PIT BY PALOFOR.
	SITE FURNITURE OWNER FURN.



1 ROOF LANDSCAPE
scale 1" = 10' - 0"

PLANT LIST

SYMBOL	BOTANICAL NAME/ COMMON NAME	SIZE	SPACING
EXISTING TREES:			
EXISTING STREET TREES TO REMAIN: (SIZE PER SDOT TREE MAP, 2016)			
#1	ACER RUBRUM 'RED SUNSET' / RED SUNSET MAPLE	16" DSH	
#2	ACER TRUNCATUM x A. PLATANOIDES / PACIFIC SUNSET MAPLE	7" DSH	
#3	ACER RUBRUM 'RED SUNSET' / RED SUNSET MAPLE	10" DSH	

RIGHT OF WAY PLANTS:

SENT TO URBAN FORESTRY FOR CONCEPTUAL APPROVAL (STREET TREE SELECTIONS, TREE REMOVAL, AND ROW PLANTINGS)

PROPOSED STREET TREES:

* DROUGHT TOLERANT PLANT REFERENCES: - SUNSET WESTERN GARDEN BOOK ** DROUGHT TOLERANT PLANTS PER SEATTLE GREEN FACTOR PLANT LIST			
PINUS BUNGEANA / LACEBARK PINE*	8' HT.	B&B	AS SHOWN
GINKGO / GINKGO BILOBA 'AUTUMN GOLD', MALE ONLY	2" CAL.	B&B	AS SHOWN
RHAMNUS PURSHIANA / CASCARA -OR- AMUR MAACKIA MAACNIFICENT / MAACNIFICENT MAACKIA*	2" CAL.	B&B	AS SHOWN

SHRUBS & GROUNDCOVERS IN RIGHT OF WAY:

20%	FRAGARIA CHILOENSIS / BEACH STRAWBERRY*	4"	POT	15" O.C. TRIANG. SPACING
10%	VACCINIUM OVATUM / EVERGREEN HUCKLEBERRY *	1 GAL.	CONT.	30" O.C. TRIANG. SPACING
10%	HELIOTRICHON SEMPERVIRENS / BLUE OAT GRASS*	1 GAL.	CONT.	30" O.C. TRIANG. SPACING
10%	POLYSTICHUM MUNIUM * / SWORDFERN	1 GAL.	CONT.	30" O.C. TRIANG. SPACING
10%	SPIRAEA BUMALDA 'DENISTAR' / SUPERSTAR SPIRAEA *	1 GAL.	CONT.	30" O.C. TRIANG. SPACING
10%	ROSA 'NOALA' / CORAL FLOWER CARPET ROSE*	1 GAL.	CONT.	30" O.C. TRIANG. SPACING
10%	PENNISETUM ALOPECUROIDES / PENNISETUM 'HAMELN'	1 GAL.	CONT.	30" O.C. TRIANG. SPACING
10%	ACHILLEA MILLEFOLIUM 'SUMMER PASTELS' / YARROW*	1 GAL.	CONT.	30" O.C. TRIANG. SPACING
10%	HEMEROCALLIS / STELLA D'ORO DAYLILY*	1 GAL.	CONT.	30" O.C. TRIANG. SPACING

MULCH UNDER EXTG. TREES, SEE PLAN

ON SITE PLANTS:

COLORFUL MIX:

30%	HAMMAMELIS 'ARNOLD'S PROMISE' / WITCHHAZEL*	10 GAL.	CONT.	8'-0" O.C.
30%	ROSA 'NOALA' / CORAL FLOWER CARPET ROSE*	1 GAL.	CONT.	24" O.C. TRIANG. SPACING
25%	LIRIOPE SPICATA / CREEPING LILYTURF*	1 GAL.	CONT.	24" O.C. TRIANG. SPACING
25%	POLYSTICHUM MUNIUM * / SWORDFERN	1 GAL.	CONT.	24" O.C. TRIANG. SPACING

SHADY BIORETENTION MIX:

40%	ACER CIRCINATUM / VINE MAPLE*	6' HT.	B&B	
40%	CAREX OPNUPA* / SLOUGH SEDGE	1 GAL.	CONT.	24" O.C. TRIANG. SPACING
30%	CORNUS KELSEYII* / KELSEY DOGWOOD	1 GAL.	CONT.	24" O.C. TRIANG. SPACING
30%	ACORUS GRAMINEUS 'OGON' * / SWEET FLAG	1 GAL.	CONT.	24" O.C. TRIANG. SPACING

PLANT LIST - ROOF LEVEL

SYM	BOTANICAL NAME	COMMON NAME	SIZE	COND.	SPACING
TREES					
	Logstroemia indica x fauriei 'Muskogee' **	CRAPE MYRTLE	8'-10' HT.	B&B, MULTI	PER PLAN
SEATTLE GREEN FACTOR PLANT LIST					
	SEDUM TILE PREVEGETATED MATS**	MIXED WITH PERENNIALS (1 GAL., 18" O.C.)			
PERENNIALS (PLANTED IN SEDUM TILE MATS)					
	ECHINACEA PURPUREA **	PURPLE CONE FLOWER	1 GAL.	CONT.	2' O.C.
	SEDUM 'AUTUMN JOY' **	'AUTUMN JOY' SEDUM	1 GAL.	CONT.	2' O.C.
	PHYLLOSTACHYS AUREA	GOLDEN BAMBOO	5 GAL. CONT.	4 PER PLANTER	
	OPHIPOGON P. 'NIGRESCENS'	BLACK MONDO GRASS	1 GAL. CONT.	10 PER PLANTER	

MATERIALS LIST - ON STRUCTURE

	CONCRETE PAVERS 24"x24" HYDRAPRESSED SLABS W/ AWS PEDESTAL SYSTEM COLOR/FINISH: TEXADA - NATURAL BY ABBOTSFORD CONCRETE PRODUCTS 1.800.663.4091
	PEDESTAL SYSTEM AWS PEDESTAL SYSTEM AVAIL. FROM ABBOTSFORD CONCRETE PRODUCTS 1.800.663.4091
	GREEN ROOF LAYER SYSTEM COLUMBIA GREEN OR APPROVED ALTERNATE. INSTALL PER MFG. INSTRUCTION.
	METAL EDGING GEODEGE ALUMINUM RESTRAINT, AVAIL. FROM COLUMBIA GREEN TECHNOLOGIES, INC. 503.684.9123. INSTALL PER MFG. INSTRUCTION.
	PREMANUFACTURED PLANTER 2'x8'x 30" HT. WILSHIRE, COLOR TBD, BY TOURNESOL SITEWORKS 800.542.2282
	MOUNDED PLANTER W/ 12" HT. METAL EDGE
	FIRE PIT BY PALOFORM, PROVIDE GAS CONNECTION
	SITE FURNITURE OWNER FURNISHED. PROVIDE GAS CONNECTION TO GAS GRILLS. RAILS AND FALL PROTECTION SEE ARCH.

PROJECT NAME

106 NW 36th St

PROJECT ADDRESS

106 NW 36th St.
Seattle, WA 98107

CLIENT

Owner North America Development
Group LLC

KEY PLAN

9/23/2021 DD SET

1 8/6/2021 MUP Corrections

No. Date Revision Description

REVISIONS

CONSULTANTS

DESIGN ARCHITECT

MZA ARCHITECTURE

752 106TH AVENUE NE, SUITE 203
BELLEVUE, WA 98004

T: 425-559-7888

REVISIONS

DRAWING STATUS

100% DD SET

Discrepancies must be reported to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

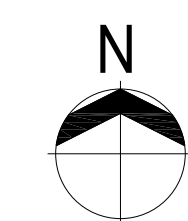
ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT LOGO

Karen Kiest
Landscape Architects
111 west john street suite 306
seattle washington 98119
206 323 6032
www.kk-ia.com



STAMP



DRAWING TITLE

COLORLED
LANDSCAPE PLAN

DRAWN

IB

CHECKED

KK

SCALE

1"=10'-0"

DATE

09/30/21

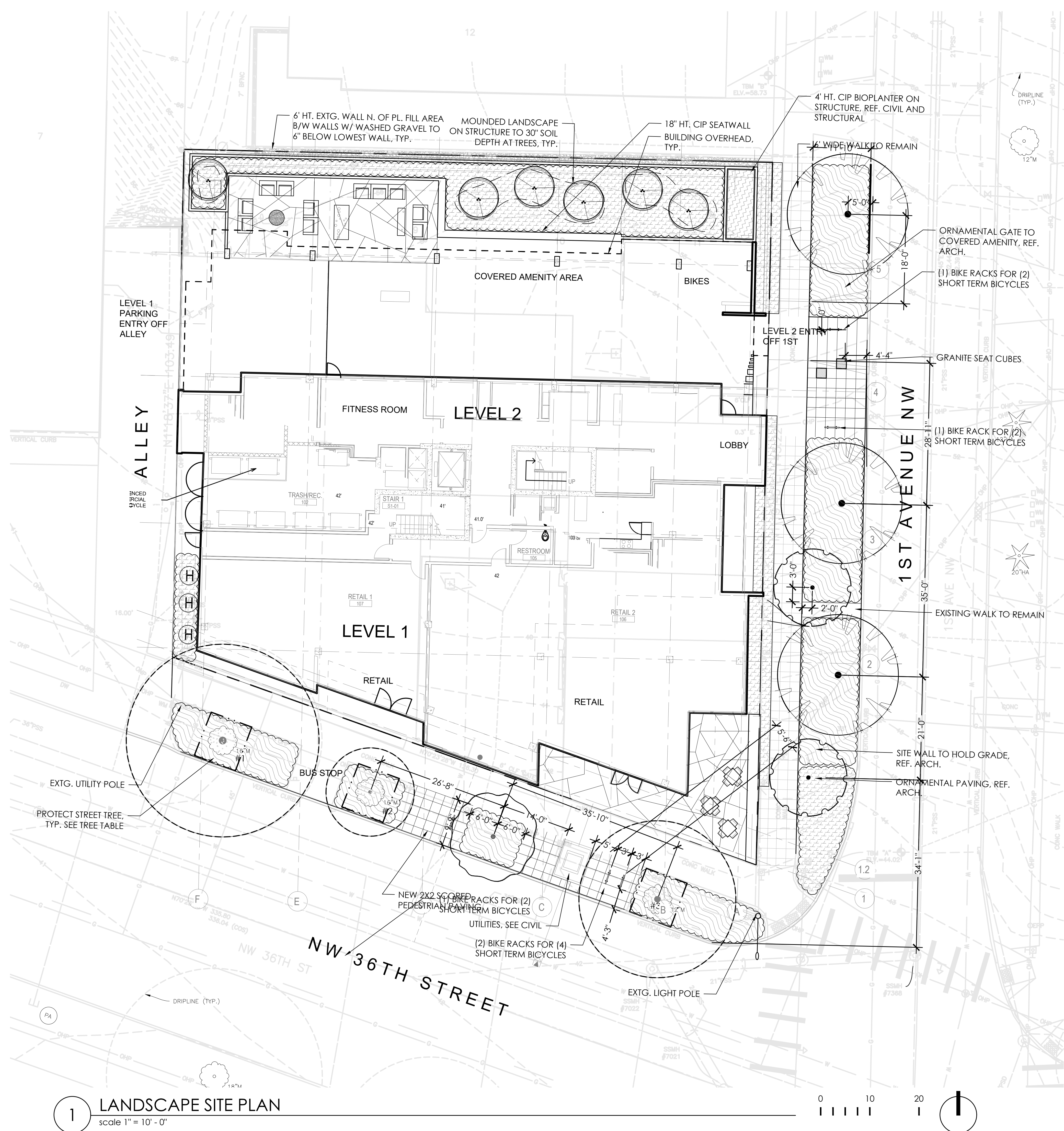
PROJECT NO.

19-049

DRAWING NO.

L100

REVISION NO.



1 LANDSCAPE SITE PLAN
scale 1" = 10' - 0"

LANDSCAPE SHEET LIST - DD SET

L100	COLORS LANDSCAPE PLAN
L101	LANDSCAPE SITE PLAN, LEGEND, AND NOTES
L102	LANDSCAPE ROOF PLAN
L200	LANDSCAPE DETAILS

MATERIALS AND FINISHES: RIGHT OF WAY

SYMBOL	DESCRIPTION
	PER COS STD PLAN 420 WITH THE FOLLOWING EXCEPTIONS: - SAND-COATED EXP. JOINTS, DEEP TOOLED SCORE JOINTS, NO SHINERS - 2'X2' SCORING UNLESS OTHERWISE INDICATED ON PLAN
	THROUGH JOINT
	BIKE RACK - OAHU BY SPORTWORKS - SURFACE MOUNT, 2 SPACES PER RACK, TYP.
	MULCH, 3" DEPTH
	GRANITE SEAT CUBE, SEE DETAIL
	TREE PROTECTION PER COS STANDARD, SEE DETAIL

NOTES

- ALL PLANTING AREAS TO RECEIVE 2" OF MULCH.
- AT GRADE LANDSCAPING AREAS SHALL CONTAIN AT LEAST EIGHT INCHES OF TOPSOIL AT FINISH GRADE. PLANTING SOIL TO BE AMENDED PER COS 2017 STANDARD PLAN #142
- SHRUBS WITHIN ROW SHALL BE 30" HT. MAX, 24" MAX HT WITHIN 30' FROM INTERSECTION
- ALL PLANTING AREAS TO RECEIVE AUTOMATIC IRRIGATION SYSTEM.
- SEE SEATTLE GREEN FACTOR PLAN AND CALCULATIONS.
- SEE LANDSCAPE DETAILS.

MATERIALS AND FINISHES: ON SITE

SYMBOL	DESCRIPTION
	PER COS STD PLAN 420 WITH THE FOLLOWING EXCEPTIONS: - SAND-COATED EXP. JOINTS, DEEP TOOLED SCORE JOINTS, NO SHINERS - 2'X2' SCORING UNLESS OTHERWISE INDICATED ON PLAN
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	CIP DECORATIVE TOPPING SLAB, REF. ARCH.
	CIP ON STRUCTURE PLANTERS BIOPANTERS: 42" ABOVE SLAB OTHER PLANTERS: 24" ABOVE SLAB
	PLANTER SOIL: BIOPANTERS: PER CIVIL DETAILS OTHER PLANTERS: LIGHTWEIGHT SOIL MIX
	FIRE PIT BY PALOFORM, PROVIDE GAS CONNECTION
	SITE FURNITURE OWNER FURNISHED, PROVIDE GAS CONNECTION TO GAS GRILLS.
	RAILS AND FALL PROTECTION SEE ARCH

PLANT LIST

SYMBOL	BOTANICAL NAME/ COMMON NAME	SIZE	SPACING
EXISTING TREES:			
EXISTING STREET TREES TO REMAIN: (SIZE PER SDOT TREE MAP, 2014)			
#1	ACER RUBRUM 'RED SUNSET' / RED SUNSET MAPLE	16" DSH	
#2	ACER TRUNCATUM x A. PLATANOIDES / PACIFIC SUNSET MAPLE	7" DSH	
#3	ACER RUBRUM 'RED SUNSET' / RED SUNSET MAPLE	10" DSH	

RIGHT OF WAY PLANTS:

SENT TO URBAN FORESTRY FOR CONCEPTUAL APPROVAL (STREET TREE SELECTIONS, TREE REMOVAL, AND ROW PLANTINGS)

PROPOSED STREET TREES:

* DROUGHT TOLERANT PLANT REFERENCES:
- SUNSET WESTERN GARDEN BOOK ** DROUGHT TOLERANT PLANTS PER SEATTLE GREEN FACTOR PLANT LIST

PINUS BUNGEANA / LACEBARK PINE*	8' HT.	B&B	AS SHOWN
GINKGO / GINKO BILOBA 'AUTUMN GOLD', MALE ONLY	2' CAL.	B&B	AS SHOWN
RHAMNUS PURSHIANA / CASCARA -OR- AMUR MAACKIA MAACNIFICENT / MAACNIFICENT MAACKIA*	2' CAL.	B&B	AS SHOWN

SHRUBS & GROUNDCOVERS IN RIGHT OF WAY:

20%	FRAGARIA CHILOENSIS / BEACH STRAWBERRY*	4"	POT	15" O.C. TRIANG. SPACING
10%	VACCINIUM OVATUM / EVERGREEN HUCKLEBERRY *	1 GAL.	CONT.	30" O.C. TRIANG. SPACING
10%	HELICTOTRICHON SEMPERVIRENS / BLUE OAT GRASS*	1 GAL.	CONT.	30" O.C. TRIANG. SPACING
10%	POLYSTICHUM MUNITUM * / SWORDFERN	1 GAL.	CONT.	30" O.C. TRIANG. SPACING
10%	SPIRAEA BUMALDA 'DENISTAR' / SUPERSTAR SPIRAEA *	1 GAL.	CONT.	30" O.C. TRIANG. SPACING
10%	ROSA 'NOALA' / CORAL FLOWER CARPET ROSE*	1 GAL.	CONT.	30" O.C. TRIANG. SPACING
10%	PENNISETUM ALOPECUROIDES / PENNISETUM 'HAMEL'	1 GAL.	CONT.	30" O.C. TRIANG. SPACING
10%	ACHILLEA MILLEFOLIUM 'SUMMER PASTELS' / YARROW*	1 GAL.	CONT.	30" O.C. TRIANG. SPACING
10%	HEMEROCALLIS / STELLA D'ORO DAYLILY*	1 GAL.	CONT.	30" O.C. TRIANG. SPACING

MULCH UNDER EXTG. TREES, SEE PLAN

ON SITE PLANTS:

COLORFUL MIX:

(H)	HAMMAMELIS 'ARNOLD'S PROMISE' / WITCHHAZEL*	10 GAL.	CONT.	8'-0" O.C.
30%	ROSA 'NOALA' / CORAL FLOWER CARPET ROSE*	1 GAL.	CONT.	24" O.C. TRIANG. SPACING
25%	LIRIOPE SPICATA / CREEPING LILYTURF*	1 GAL.	CONT.	24" O.C. TRIANG. SPACING
25%	POLYSTICHUM MUNITUM * / SWORDFERN	1 GAL.	CONT.	24" O.C. TRIANG. SPACING

SHADY BIORETENTION MIX:

(C)	ACER CIRCINATUM / VINE MAPLE*	6' HT.	B&B	
40%	CAREX OPNUTA* / SLOUGH SEDGE	1 GAL.	CONT.	24" O.C. TRIANG. SPACING
30%	CORNUS KELSEYII* / KELSEY DOGWOOD	1 GAL.	CONT.	24" O.C. TRIANG. SPACING
30%	ACORUS GRAMINEUS 'OGON' * / SWEET FLAG	1 GAL.	CONT.	24" O.C. TRIANG. SPACING

LANDSCAPE REQUIREMENTS SUMMARY

- PER CITY OF SEATTLE DEPARTMENT OF PLANNING AND DEVELOPMENT DIRECTOR'S RULE 11-0200, THE FOLLOWING LANDSCAPE INFORMATION:
- EXISTING TREES TO REMAIN SHALL BE PROTECTED AND PRESERVED PER CITY OF SEATTLE STANDARD 132 & 133.
 - PROJECT MEETS 0.30 SEATTLE GREEN FACTOR SCORE.
 - IN REQUIRED LANDSCAPE AREAS, AT LEAST 50% OF ALL PLANTINGS MUST BE DROUGHT TOLERANT.
 - ALL PROPOSED PLANTING AREAS SHALL BE WATERED FOR A MINIMUM OF 5 GROWING SEASONS.
 - SEE COS STD PLANS 100 SERIES FOR ADDITIONAL PLANTING REQUIREMENTS AND DETAILS.

IRRIGATION

- ALL PLANTED AREAS (RIGHT OF WAY, ON SITE, AND ON STRUCTURE) TO RECEIVE PERMANENT, IN GROUND AUTOMATIC IRRIGATION SYSTEM.
- IRRIGATION DRAWINGS TO BE PROVIDED IN 100% CONSTRUCTION DOCUMENTS.
- BACKFLOW PREVENTOR TO CONFORM TO CITY OF SEATTLE REQUIREMENTS. SEE CIVIL.

STREET TREE PROTECTION:

- EXISTING TREES TO REMAIN SHALL BE PROTECTED AND PRESERVED PER CITY OF SEATTLE STANDARD 132 & 133. COORDINATE INSPECTION OF TREE PROTECTION WITH SDOT URBAN FORESTRY.
- DOT.LA@SEATTLE.GOV. TREE PROTECTION IS TO BE APPLIED AT DEMOLITION PHASE OF PROJECT.

STREET TREE REMOVAL:

- REQUIRES ISSUANCE OF TREE REMOVAL PERMIT.
- 14 DAYS PUBLIC NOTICE.
- CONTACT SDOT URBAN FORESTRY, DOT.LA@SEATTLE.GOV.

STREET TREE INSPECTION:

- PRIOR TO PLANTING, CONTACT AND COORDINATE WITH LANDSCAPE ARCHITECT OF RECORD.
- DURING PLANTING, PHOTOGRAPHS OF SOIL PREPARATION, TREE FORM AND ROOTBALL TO BE SENT TO DOT.LA@SEATTLE.GOV TO RECORD COMPLIANCE WITH STANDARDS.
- AFTER PLANTING, FINAL TO BE REQUESTED TO SDOT.LA@SEATTLE.GOV 8-02 TOPSOIL TYPE B.

RIGHT-OF-WAY PLANTING AREAS: (PER COS STD PLAN 142)

- ALL SOIL AREAS DISTURBED OR COMPACTED DURING CONSTRUCTION, AND NOT COVERED BY BUILDINGS OR PAVEMENT, SHALL BE AMENDED WITH COMPOST AS DESCRIBED BELOW.
- SUBSOIL SHOULD BE SCARIFIED (LOOSENED) 4 INCHES BELOW AMENDED LAYER, TO PRODUCE 12-INCH DEPTH OF UN-COMPACTED SOIL EXCEPT WHERE SCARIFICATION WOULD DAMAGE TREE ROOTS OR AS DETERMINED BY THE ENGINEER.
- COMPOST SHALL BE TILLED INTO 8 INCH DEPTH INTO EXISTING SOIL OR PLACE 8 INCHES OF COMPOST-AMENDED SOIL PER SOIL SPECIFICATION.
- PLANTING BEDS SHALL RECEIVE 3" OF COMPOST TILLED INTO 8" DEPTH, OR MAY SUBSTITUTE 8" OF IMPORTED SOIL CONTAINING 35-40% COMPOST BY VOLUME. MULCH AFTER PLANTING WITH 2-4 INCHES OF ARBORIST WOOD CHIP MULCH OR APPROVED EQUAL.
- SETBACKS: TO PREVENT UNEVEN SETTLING, DO NOT COMPOST-AMEND SOILS WITHIN 3 FEET OF UTILITY INFRASTRUCTURES (POLES, VAULTS, METERS, ETC.), WITHIN ONE FOOT OF PAVEMENT EDGE, CURBS AND SIDEWALKS SOIL SHOULD BE COMPACTED TO APPROXIMATELY 90% PROCTOR TO ENSURE A FIRM SURFACE.
- REFER TO CITY OF SEATTLE STANDARD SPECIFICATIONS: 8-02 TOPSOIL TYPE B, 9-14.1 TOPSOIL TYPE A - IMPORTED, TOPSOIL TYPE B - REUSED AMENDED SITE SOIL. PLANTING SOIL, ARBORIST WOOD CHIP MULCH, AND COMPOSTED MATERIAL (MULCH).

ON-GRADE TOPSOIL:

- TOPSOIL: TWO-WAY MIX, AVAILABLE AT CEDAR GROVE COMPOSTING, MAPLE VALLEY, WA, (877) 764-5748, OR APPROVED EQUAL.
- PREPARATION: LOOSEN SUBGRADE SOIL TO MINIMUM DEPTH OF 8 INCHES W/ CULTIMULCHER OR SIMILAR EQUIPMENT. REMOVE STONES, GRAVEL, STICKS, ETC.
- PLACEMENT: TOPSOIL MINIMUM DEPTH 8". SPREAD APPROX. 1/2 THE THICKNESS OF PLANTING SOIL MIX OVER LOOSENED SUBGRADE. MIX THOROUGHLY INTO TOP 4 INCHES OF SUBGRADE. SPREAD REMAINDER TO MEET REQUIRED GRADES. HOLD 3" BELOW ADJACENT PAVED WALKS, CURBS, AND PLANTER WALLS.

MULCH:

- COARSE BARK MULCH: PACIFIC GARDEN MULCH, CEDAR GROVE COMPOST, OR APPROVED EQUAL, AND SHALL BE NO LESS THAN 2 OR MORE THAN 4 YEARS OLD, MINIMUM DEPTH 2".

PROJECT NAME

106 NW 36th St

PROJECT ADDRESS

106 NW 36th St.
Seattle, WA 98107

CLIENT

Owner North America Development
Group LLC

KEY PLAN

9/23/2021

DD SET

1 8/6/2021

MUP Corrections

No. Date Revision Description

REVISIONS

CONSULTANTS

DESIGN ARCHITECT

MZA ARCHITECTURE

752 108TH AVENUE NE, SUITE 203
BELLEVUE, WA 98004
T: 425-555-7888

REVISIONS

DRAWING STATUS

100% DD SET

Discrepancies must be reported to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

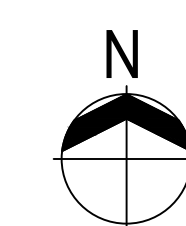
ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT LOGO

Karen Kiest
Landscape Architects
111 west john street suite 306
seattle washington 98119
206 323 6032
www.ki-ia.com

MZA
ARCHITECTURE

STAMP



DRAWING TITLE

LANDSCAPE SITE PLAN

DRAWN

IB

CHECKED

KK

SCALE

1"=10'-0"

DATE

09/30/21

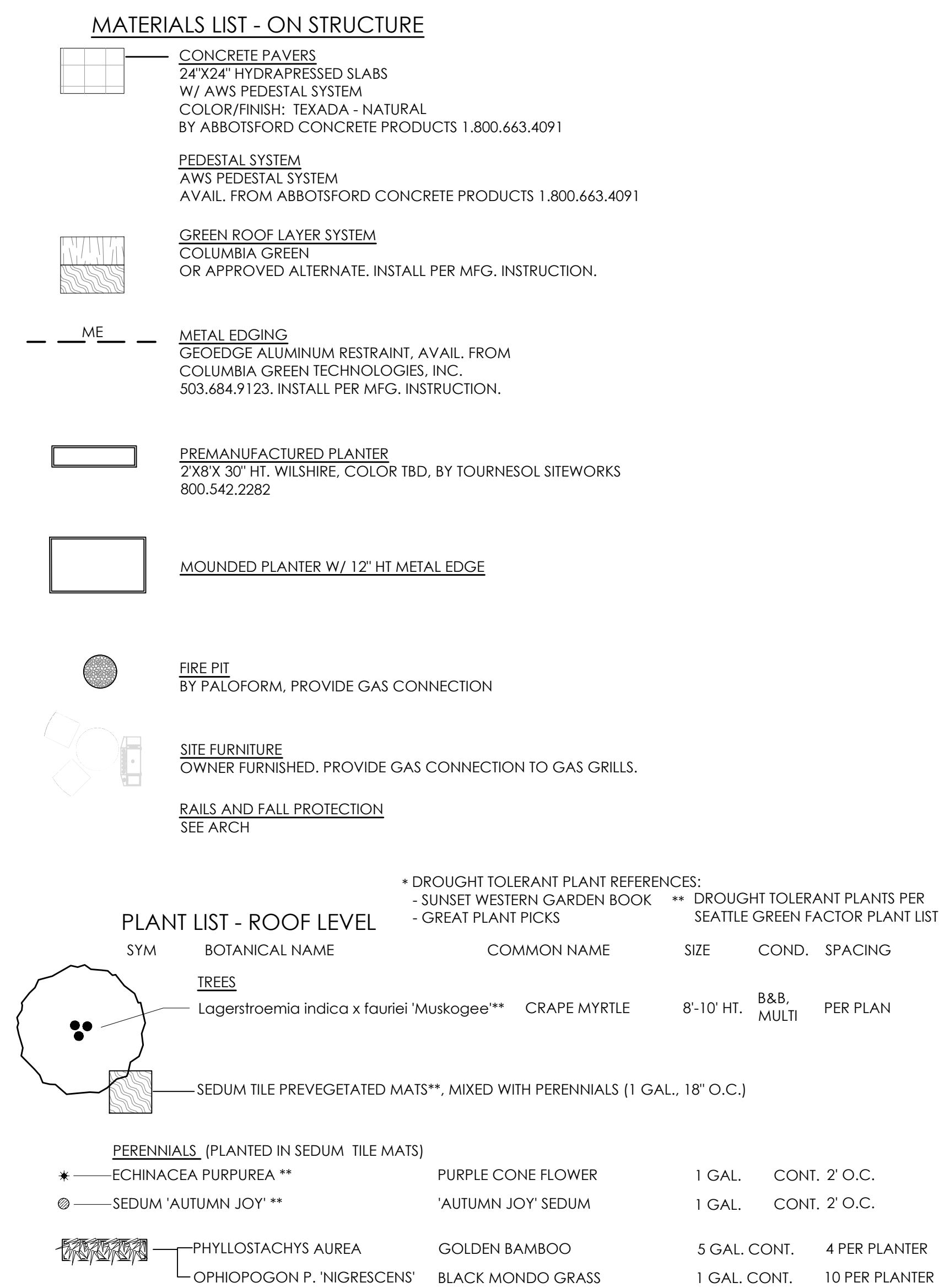
PROJECT NO.

19-049




DRAWING NO.

L101

REVISION NO.

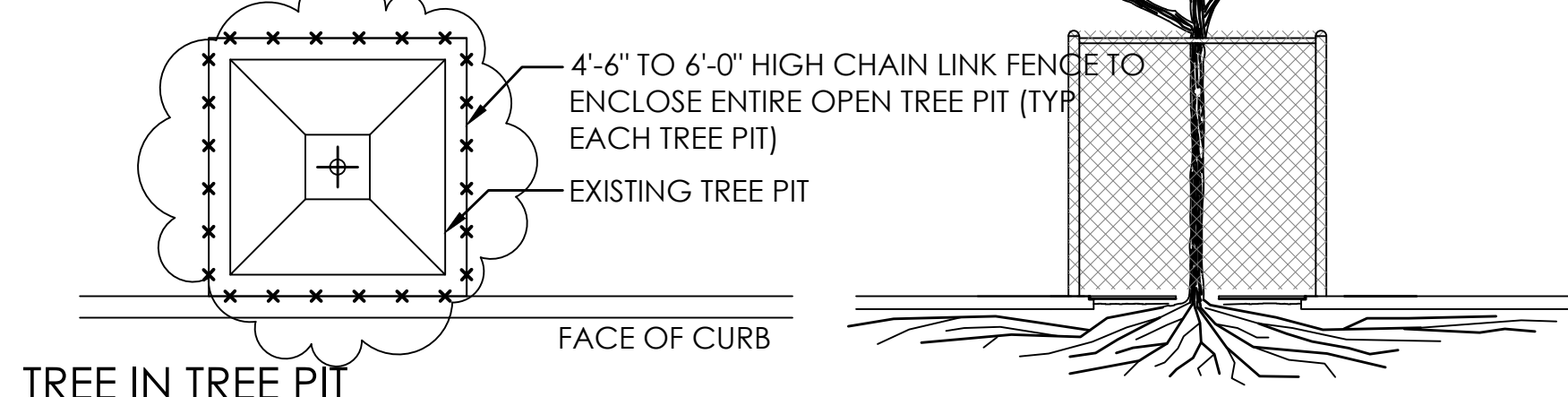


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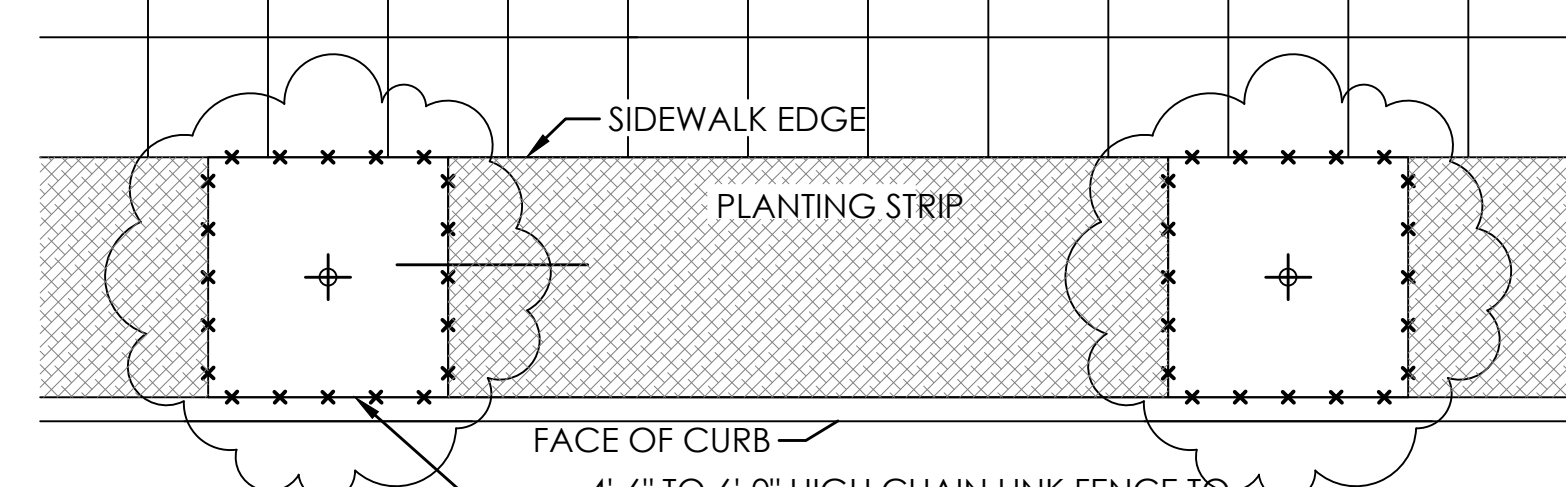
PROJECT NAME 106 NW 36th St					
PROJECT ADDRESS 106 NW 36th St. Seattle, WA 98107					
CLIENT Owner North America Development Group LLC					
KEY PLAN					
9/23/2021 DD SET					
1 8/6/2021		MUP Corrections			
No.	Date	Revision Description			
REVISIONS					
CONSULTANTS					
<u>DESIGN ARCHITECT</u>					
MZA ARCHITECTURE		752 106TH AVENUE NE, SUITE 203 BELLEVUE, WA 98004 T:425-559-7398			
REVISIONS					
DRAWING STATUS					
100% DD SET					
Discrepancies must be reported to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.					
ALL DIMENSIONS ARE SHOWN IN IMPERIAL.					
CONSULTANT LOGO					
Karen Kiest Landscape Architects 111 west john street suite 306 seattle washington 98119 206 323 6032 www.kk-la.com					
					
STAMP					
					
DRAWING TITLE					
LANDSCAPE ROOF PLAN					
DRAWN		CHECKED			
IB		KK			
SCALE		DATE			
1"=10'-0"		09/30/21			
PROJECT NO.					
19-049					
DRAWING NO.				REVISION NO.	
L102					

NOTE:

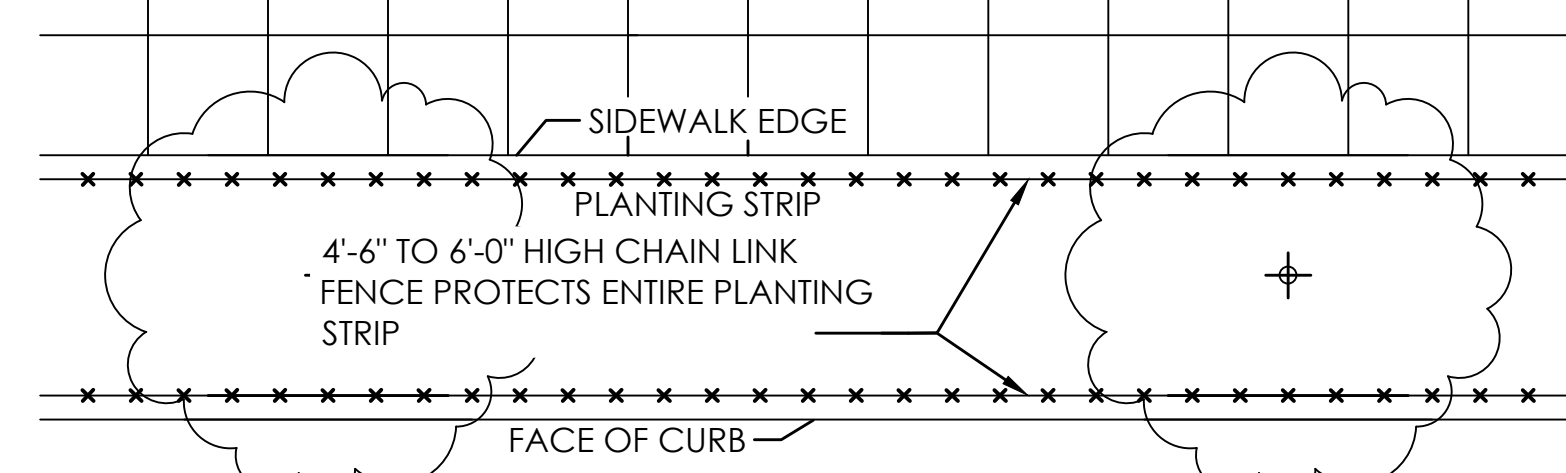
CONSIDER TRAFFIC TURNING VISIBILITY AND PEDESTRIAN VISIBILITY WHEN SELECTING FENCE HEIGHT; TYPICALLY SHORTER FENCING AROUND TREE PITS BETWEEN SIDEWALK AND ROADWAY IS DESIRED.



TREE IN TREE PIT



TREE IN PLANTING STRIP-OPTION 1



TREE IN PLANTING STRIP-OPTION 2

1 STREET TREE PROTECTION DURING CONSTRUCTION COS 132A

SCALE: 1/4" = 1'-0"

REF COS STD SPEC SEC 1-07, 14(2), 8-01

STAKE TREE WITH (2) TREATED 2"Ø LODGEPOLE PINE DOWELED TREE STAKES (8'-0" LENGTH) LOOP EACH TIE AROUND HALF TREE LOOSELY TO PROVIDE 1" SLACK FOR TRUNK GROWTH.

"CHAINLOCK" OR EQUAL TREE TIE MATERIAL (1" SIZE) NAIL OR STAPLE TREE TIE MATERIAL TO STAKE TO HOLD VERTICALLY. LOOP EACH TIE AROUND HALF TREE LOOSELY TO PROVIDE 1" SLACK FOR TRUNK GROWTH.

MULCH TREE PIT MIN 5'-0" LENGTH X FULL PLANTING STRIP WIDTH BETWEEN CURB AND SIDEWALK (FOR PLANTING STRIPS LESS THAN 6'-0" WIDE) OR PROVIDE 5'-0"Ø DIA MULCH RING FOR PLANTING STRIPS WIDER THAN 6'-0".

ROUGHEN SIDES OF PLANTING HOLE MAXIMIZE EXCAVATED AREA WITHOUT UNDERMINING ADJACENT PAVING/CURB.

18" DEEP ROOTBARRIER: PLACE AT EDGE OF SIDEWALK AND CURB. PLACE PRIOR TO PLACEMENT OF NEW SIDEWALK OR CURB TO PREVENT UNDERMINING. SEE PLAN FOR LOCATIONS AND EXTENT

SEE STD SPEC SECTION 8-02.3(d)B, OR AS APPROVED BY ENGINEER.

REMOVE ALL WIRE, STRINGS, AND OTHER NON-BURLAP MATERIAL; AND REMOVE BURLAP FROM TOP 2/3 OF ROOTBALL MINIMUM. REMOVE ENTIRELY WHEN DIRECTED BY THE ENGINEER.

2 DECIDUOUS TREE PLANTING IN PLANTING STRIP

SCALE: 1 1/2" = 1'-0"

REF COS STD SPEC SEC 8-02

NOTES:

1. PLANTING INCLUDES REMOVAL OF STAKES ONE YEAR AFTER INSTALLATION.
2. SHAPE SOIL SURFACE TO PROVIDE 4" DIA WATERING RING.
3. TREE CLEARANCE SHALL BE PER STD PLAN NO 030.
4. SEE STD PLAN NO 424 FOR TREE PIT DETAIL.
5. ADJUST TREE TIES DURING ESTABLISHMENT TO ALLOW ROOM FOR GROWTH (@1" SLACK).
6. ROOT BARRIER REQUIRED ALONG EDGE OF ROADWAY, CURB, DRIVEWAY, TRAIL, SIDEWALK, OR OTHER STRUCTURES WHERE ROOTBALL IS WITHIN TWO FEET; PLACE VERTICAL ROOTBARRIER AS SHOWN IN STANDARD PLANS NO 424a OR 424b. INSTALL ROOT BARRIERS FOR NEWLY PLANTED TREES ONLY.

SET TOP OF ROOT CROWN 2" ABOVE ADJACENT CURB & SIDEWALK GRADE.

2'-3" MULCH DEPTH (TAPERED AT TRUNK)

3" TO 4" HIGH WATERING RING (SEE NOTE 2)

TREE PIT DEPTH = ROOTBALL DEPTH (MEASURE BEFORE DIGGING TO AVOID OVEREXCAVATION).

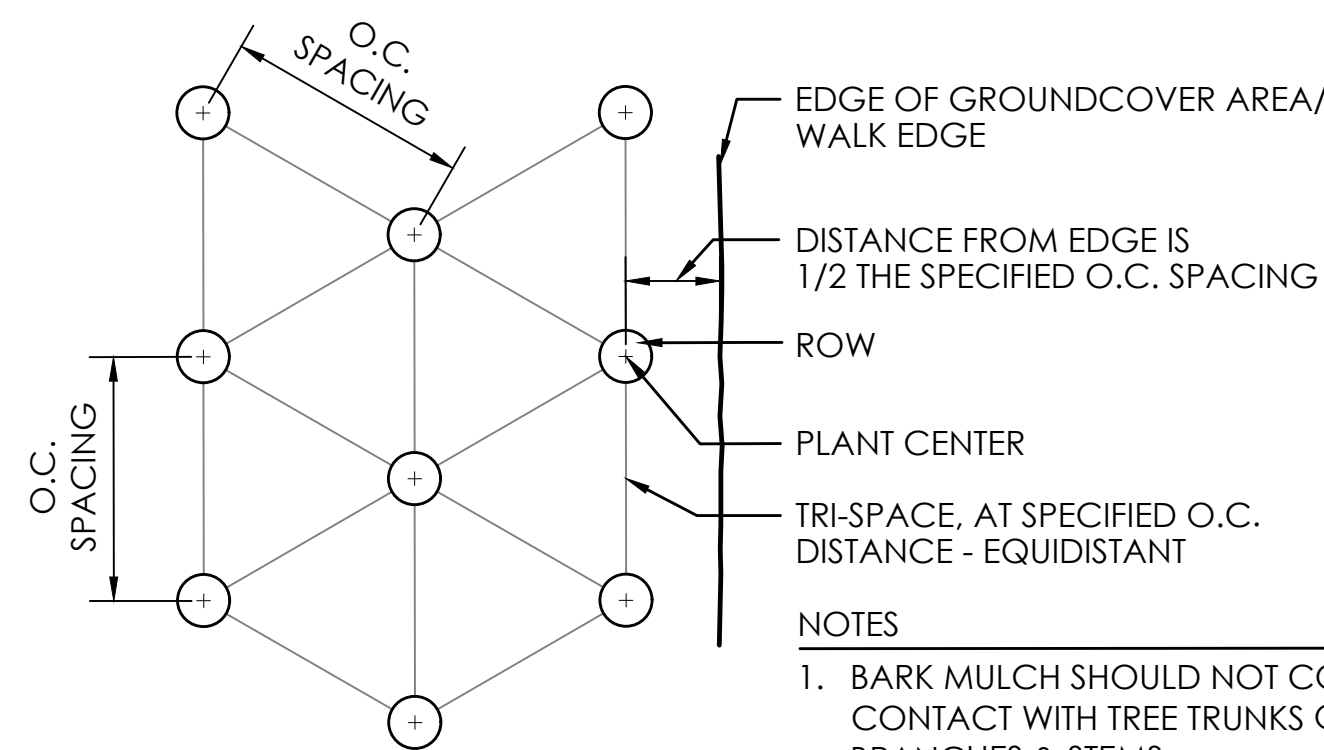
DRIVE STAKES 6" TO 1'-0" INTO UNDISTURBED SOIL BELOW ROOTBALL.

DRIVE STAKE AT ROOTBALL EDGE (TYP) (SEE NOTE 1)

UNDISTURBED SUBGRADE (PROVIDES FIRM BASE SO THAT ROOTBALL WILL NOT SINK).

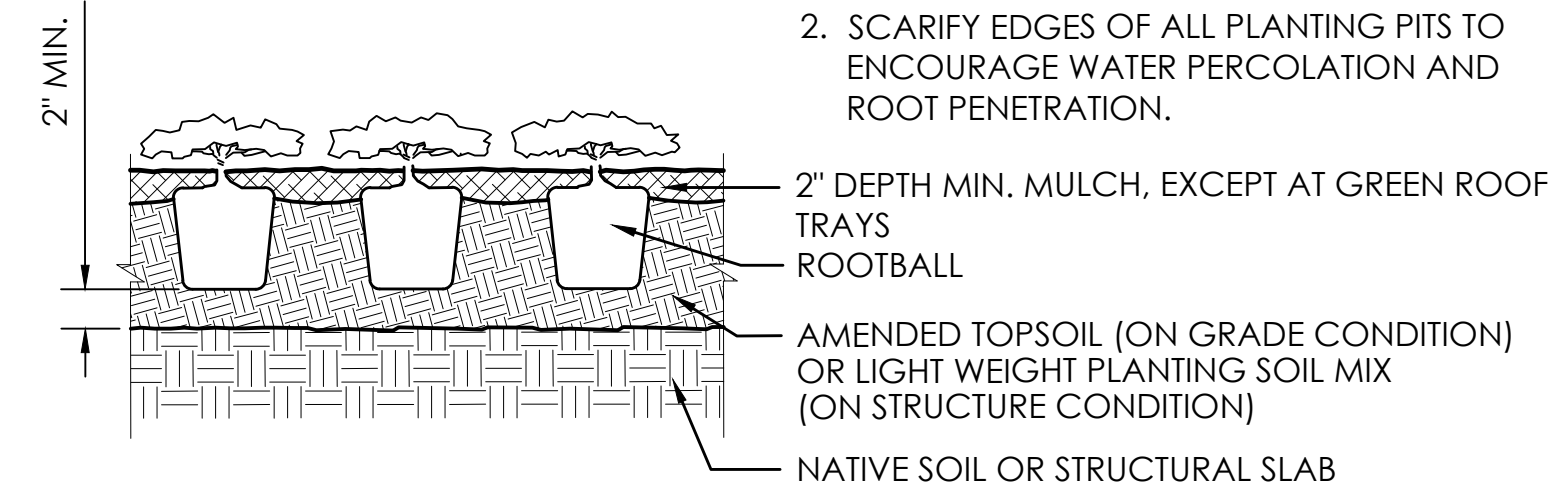
MIN WIDTH OF TREE PIT = 2 TIMES ROOTBALL DIAMETER OR 5'-0", WHICHEVER IS GREATER

MULCH AREA TO BE CLEAR OF GRASS, WEEDS, ETC. TO REDUCE COMPETITION WITH TREE ROOTS



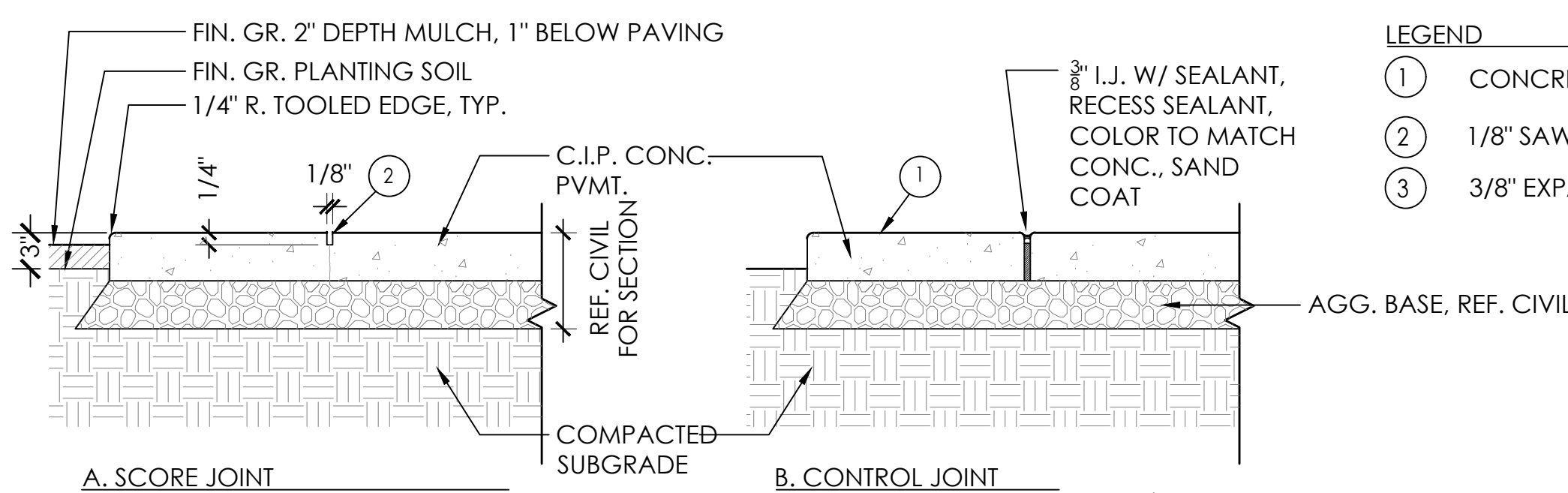
NOTES

1. BARK MULCH SHOULD NOT COME IN CONTACT WITH TREE TRUNKS OR SHRUB BRANCHES & STEMS.
2. SCARIFY EDGES OF ALL PLANTING PITS TO ENCOURAGE WATER PERCOLATION AND ROOT PENETRATION.



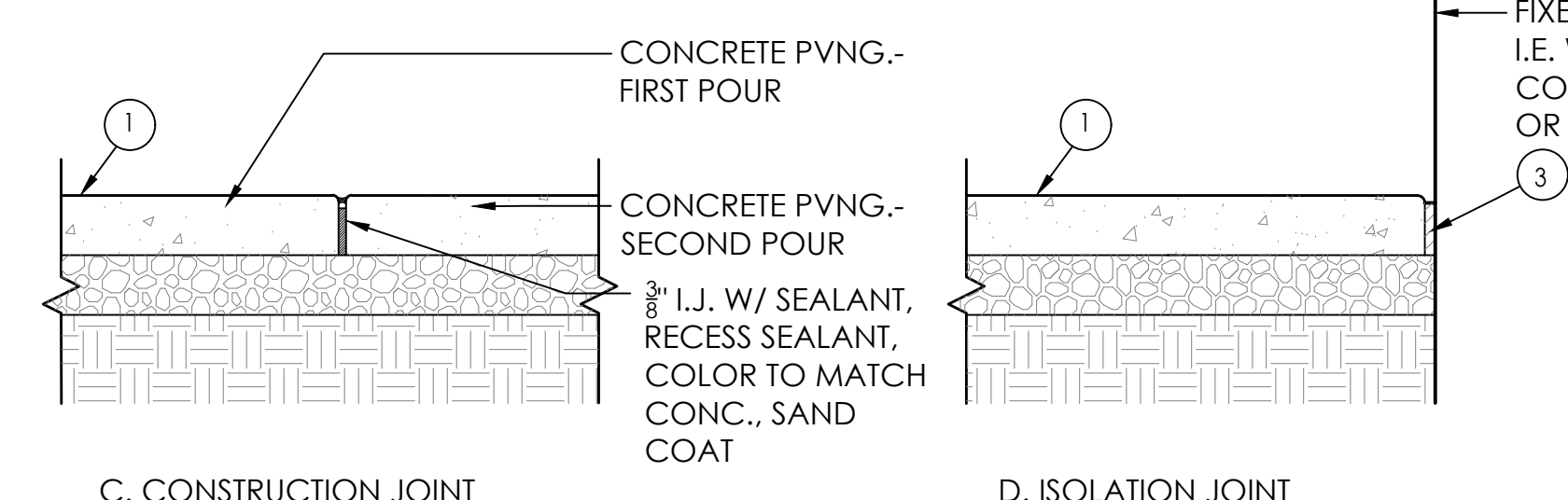
3 SHRUB & GROUNDCOVER PLANTING

SCALE: NTS



A. SCORE JOINT

B. CONTROL JOINT



C. CONSTRUCTION JOINT

D. ISOLATION JOINT

LEGEND

- 1 CONCRETE PVMT., SEE PLAN FOR FINISHES
- 2 1/8" SAWCUT JOINTS. NO SHINERS/BANDS.
- 3 3/8" EXPANSION JOINT MATERIAL.

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